

MATERIAL LEGEND

	GRADE
	EARTHWORK FILL
	CONCRETE
	TERRAZZO
	BRICK
	STONE
	CONCRETE MASONRY UNIT
	TILE (CERAMIC OR QUARRY)
	PLASTER, SAND, GYPSUM BOARD, PARTICLE BOARD
	WOOD (FINISH)
	WOOD BLOCKING OR FRAMING
	SHIM
	PLYWOOD
	FIBROUS INSULATION
	RIGID INSULATION
	EXPANSION MATERIAL
	METAL

KEYNOTE LEGEND

K1 PROVIDE BLOCKING AS REQUIRED PER MANUFACTURER INSTRUCTIONS AND RECOMMENDATIONS.

REFLECTED CEILING PLAN NOTES

- LEVEL 1 GYB-RC CEILING AT 8'-0" AT CORRIDOR IS CONTINUOUS, WITH THE EXCEPTION OF ENCLCING STEEL BEAMS AND LOAD BEARING WALLS, ABOVE AND GYB-CLG CEILINGS.
- LEVELS 2, 3 AND 4 GYB CLG CEILING AT 8'-0" IS CONTINUOUS ABOVE ACT CEILINGS WITH THE EXCEPTION OF LOAD BEARING WALLS.
- REFER TO MEP DWGS FOR ADDITIONAL LIGHT, HVAC AND PLUMBING FIXTURE TYPES AND SPECIFICATIONS.
- SEE ENLARGED GUESTROOM PLANS FOR MORE INFORMATION.
- AP, PROVIDE JL INDUSTRIES 12" X 12" FDWB - FIRE-RATED & INSULATED CONCEALED FRAME ACCESS PANEL WITH WALLBOARD BEAD. THOSE SHOWN ON THE PLANS ARE EXPOSED. IN ADDITION TO THESE SHOWN PROVIDE ACCESS PANELS IN THE RATED HORIZONTAL FLOOR ASSEMBLY ABOVE GYB CEILINGS AND WALLS WHERE REQUIRED BY MECH AND ELEC. PAINT TO MATCH WALL OR CEILING.
- RECESSED LIGHT AND OTHER FIXTURES PENETRATING RATED HORIZONTAL FLOOR/CEILING ASSEMBLY REQUIRES GYB HOUSING.

REFLECTED CEILING PLAN LEGEND

	FLUORESCENT LIGHT (2'-0"x4'-0")
	DOWNLIGHT
	PENDANT LIGHT
	STRIP LIGHTS
	EXIT LIGHT
	ACCESS PANEL (1'-0"x1'-0" UNO)
	SMOKE DETECTORS
	SPEAKERS

DRAWING SYMBOLOGY LEGEND

A110 ← SHEET NUMBERS
 ← SHEET TYPE SUB SERIES
 ← DISCIPLINE/SERIES

SHEET/DRAWING NUMBERS
 DISCIPLINE/SERIES
 A = ARCHITECTURAL
 C = CIVIL E = ELECTRICAL
 ID = INTERIOR DESIGN
 L = LANDSCAPE
 M = MECHANICAL AND PLUMBING
 S = STRUCTURAL

SHEET TYPE SUB SERIES
 D = DEMOLITION PLANS, SECTIONS AND ELEVATIONS
 1 = FLOOR PLANS AND REFLECTED CEILING PLANS
 2 = EXTERIOR ELEVATIONS
 3 = BUILDING AND WALL SECTIONS
 4 = ENLARGED PLANS AND ELEVATIONS PLANS, SECTIONS
 5 = CONSTRUCTION DETAILS
 7 = INTERIOR DETAILS

NEW GRIDS **EXISTING GRIDS** **NORTH ARROW**

View Title
 1/8" = 1'-0" ← DETAIL / SHEET SCALE

ELEVATION NUMBERS
 1 ← ELEVATION NUMBERS
 SIM ← SHEET NUMBER
 ELEVATION REFERENCE

SECTION NUMBERS
 1 ← SECTION NUMBER
 SIM ← SHEET NUMBER
 SECTION REFERENCE

ENLARGED PLAN OR DETAIL REFERENCE
 ROOM_NAME [101] 18" x 24" 32"
 SEE PARTITION SHEET FOR TAG INFO.
 CASEWORK TAG [K3] WINDOW, LOUVER OR CURTAIN WALL PARTIAL

KEYNOTES **REVISION IDENTIFICATION**

CEILING TAG
 GYB-1 ← CEILING TYPE
 8'-0" AFF ← HEIGHT ABOVE FLOOR LEVEL
 ALIGN FACE OF OBJECTS/SURFACES 8'-0"

MATCHLINE
 MATCHLINE REFERENCE SPOT ELEVATION FLOOR ELEVATION

WALLS **DOORS**

	WALL MOUNTED EXIT LIGHT (SEE MECHANICAL)
	RETURN/EXHAUST GRILLE
	LINEAR DIFFUSER
	SUPPLY AIR DIFFUSER
	DECORATIVE T5'S
	RECESSED HALOGEN
	GYPSUM BOARD CEILING

ARCHITECTURAL ABBREVIATIONS

ABBREVIATION NOTES.

1. SEE ALSO LIFE SAFETY REFERENCE, FURNITURE AND EQUIPMENT, ROOM OPENING AND ROOM FINISH SCHEDULES FOR ADDITIONAL ABBREVIATIONS.

ABBREVIATIONS

⊕ = AT
 # = POUND
 & = AND

- A**
 A/C = AIR CONDITION
 ABBRV = ABBREVIATION
 AC = ASBESTOS CEMENT
 ACC = ACCESSIBLE OR ACCESS
 ACOUS INSUL = ACOUSTICAL INSULATION
 ACOUS PNL = ACOUSTICAL PANEL
 ACS FLR OR ACC FLR OR AF = ACCESS FLOOR
 ACST OR ACOUST = ACOUSTIC
 ACT (SP) OR AT (SP) = ACOUSTICAL CEILING TILE (WITH SPRAYED PLASTIC FINISH)
 ACT OR AT = ACOUSTICAL CEILING TILE
 ADB = AUTOMATIC DOOR BOTTOM
 ADC = AUTOMATIC DOOR CLOSER
 ADH = ADHESIVE
 ADJ = ADJOINING OR ADJACENT OR ADJUSTABLE
 ADO = AUTOMATIC DOOR OPERATOR
 ADS = AUTOMATIC DOOR SEAL
 AED = AUTOMATIC EXTERNAL DEFIBRILLATOR DEVICE
 AFF = ABOVE FINISHED FLOOR
 ANR = ANCHOR
 ALT = ALTERNATE
 ALTRN = ALTERNATION
 ALUM OR AL = ALUMINUM
 AMEND = AMENDMENT
 ANOD = ANODIZE OR ANODIZED
 ANT = ANTENNA
 APC OR PC = ARCHITECTURAL PRECAST CONCRETE
 APPD = APPROVED
 APPROX = APPROXIMATE
 AR = AS REQUIRED
 ARCH = ARCHITECT
 ASB = ASBESTOS
 ASD = AUTOMATIC SLIDING DOOR
 ASST = ASSISTANT
 ATCH OR ATICH = ATTACHMENT OR ATTACH OR ATTACHED
 ATM = AUTOMATIC TELLER MACHINE
 AUTO = AUTOMATIC
 AUX = AUXILIARY
 AV = AUDIO VISUAL
 AVG = AVERAGE
 AW = ARCHITECTURAL WOODWORK
 AWF = ACOUSTIC WALL FABRIC (TACKABLE)
 AWP = ACOUSTIC WALL PANEL
 AWT = ACOUSTICAL WALL TREATMENT
- B**
 B LABEL = CLASS B DOOR
 B/B = BACK TO BACK
 BA = BUILDING ACCESSORY
 BAL = BALANCE
 BALC = BALCONY
 BAT = BATTEN
 BB = BASEBOARD
 BB OR BBD = BULLETIN BOARD
 BBR = BASE BOARD RADIATOR
 BC = BETWEEN CENTERS OR BOOK CASE
 BD = BOARD
 BDRY = BOUNDARY
 BEV = BEVEL
 BG = BUMPER GUARD
 BI FLD DR = BIFOLDING DOORS
 BIM = BUILDING INFORMATION MODEL (REVIT MODEL)
 BITUM = BITUMINOUS
 BKG = BACKING
 BL = BUILDING LINE
 BLDG = BUILDING
 BLCK = BLOCKING
 BLKHD = BULKHEAD
 BLT = BORROWED LIGHT
 BLW = BELOW
 BM = BEAM
 BMS = BUILDING MAMAGEMENT SYSTEM
 BN = BULLNOSE
 BO = BY OWNER
 BOF = BOTTOM OF FOOTING/FOUNDATION
 BOS = BOTTOM OF STEEL
 BOT = BOTTOM
 BOW = BOTTOM OF WALL
 BP = BRICK PAVERS (UNIT PAVERS)
 BP = BUILDING PAPER
 BR = BRICK
 BRCC = BRACING
 BRDGC = BRIDGING
 BRG = BRADING
 BRKT OR BKT = BRACKET
 BRL = BRICK LEDGE
 BS = BOTH SIDES
 BSMT = BASEMENT
 BT OR B = BATHTUB
 BTWN = BETWEEN
 BUR = BUILT-UP ROOFING
 BW = BOTH WAYS
 BZ = BUZZER
- C**
 C = CHANNEL
 C LABEL = CLASS C DOOR
 C/C = CENTER TO CENTER
 CAB = CABINET
 CALC = CALCULATE
 CAN = CANOPY
 CANTIL = CANTILEVER
 CATW = CATWALK
 CAV = CAVITY
 CB = CORNER BEAD
 CBB OR CB = CONCRETE OR CEMENTITIOUS (BACKER) BOARD
 CBO = CEMENT BOARD
 CC = COLOR CODE
 CC = CUBICLE CURTAIN
 CCD = COLLING COUNTER DOOR
 CCT = CUBICLE CURTAIN TRACK
 CCTV = CLOSED CIRCUIT TELEVISION
 CD = CONSTRUCTION DOCUMENTS OR CONTRACT DOCUMENT
 CEF = CONDUCTIVE ELASTOMERIC (LIQUID) FLOORING
 CEM = CEMENT
 CER = CERAMIC
 CFLG = COUNTERFLASHING
 CG = CORNER GUARD
 CH = COAT HOOK
 CH BD = CHALKBOARD
 CHFR = CHAMFER
 CHMBR = CHAMBER
 CI = CAST IRON
 CIP = CAST-IN-PLACE
 CIR = CIRCLE
 CIRC = CIRCULAR
 CL = CENTER LINE
 CLDG = CLADDING
 CLG = CEILING
 CLO = CLOSET
 CLR = CLEAR
 CLRM = CLASSROOM
 CM = CONSTRUCTION MANAGEMENT
 CMU = CONCRETE MASONRY UNIT
 CNCL = CONCEALED
- D**
 D = DEEP OR DEPTH
 D = PENNY (NAIL)
 D LABEL = CLASS D DOOR
 DAT = DATUM
 DB = DEBEL
 D-B = DESIGN-BUILD
 DBL = DOUBLE
 DE = DELAYED EGRESS
 DE = DOUBLE EGRESS
 DEF = DEFINITION
 DEFS = DIRECT APPLIED EXTERIOR FINISH SYSTEM
 DEG = DEGREE
 DEL = DELETE
 DEMO = DEMOLITION OR DEMONSTRATION
 DENS = DENSITY
 DEPR = DEPRESSION
 DEPT = DEPARTMENT
 DESCR = DESCRIBE OR DESCRIPTION
 DET = DETAIL
 DETN = DETENTION
 DF = DOOR FRAME
 DF = DRINKING FOUNTAIN
 DFCT = DEFLECTION
 DFP = DOOR FRAME PROTECTION
 DIA = DIAMETER
 DIAG = DIAGONAL OR DIAGRAM
 DICT = DICTATION
 DIFF = DIFFERENCE OR DIFFERENTIAL OR DIFFUSER
 DIM = DIMENSION
 DIR = DIRECTOR OR DIRECTION
 DISP = DISPENSER
 DIST = DISTRICT OR DISTANCE
 DIV = DIVIDE OR DIVISION
 DLO = DAY LIGHT OPENING
 DN = DOWN
 DOC = DOCUMENT
 DP = DOOR PANEL
 DP = DOWNPIPE OR DEMOUNTABLE PARTITION
 DPC = DAMPPROOF COURSE
 DPS = DOOR POSITION SWITCH (DOOR CONTACT)
 DPTH = DEMOUNTABLE PARTITION
 DR = DRAIN
 DR CL = DOOR CLOSER
 DR FR = DOOR FRAME
 DR OPGN = DOOR OPENING
 DRH = DOOR HOLDER
 DRLV = DOOR LOUVER
 DRST = DOOR STOP
 DRSW = DOOR SWITCH
 DS = DOWNSPOUT
 DSON = DESIGN
 DT = DRAIN TILE
 DTCH = DETACH
 DVTL = DOVETAIL
 DW = DISHWASHER
 DWG = DRAWING
 DWLS = DOWELS
 DWR = DRAWER
- E**
 E = EAST
 E LABEL = CLASS E DOOR
 EA = EACH
 EF = EACH FACE
 EFTR = EXISTING FINISH TO REMAIN
 EIPS = EXTERIOR INSULATION AND FINISH SYSTEM
 EJ OR EXP JT OR EJT = EXPANSION JOINT
 EL = ELEVATION
 ELEC = ELECTRIC
 ELEV = ELEVATOR
 EMER OR EMERG = EMERGENCY
 EMS = ENERGY MANAGEMENT SYSTEM
 ENAM = ENAMEL
 ENCL = ENCLOSURE
 ENGR = ENGINEER
 ENTR = ENTRANCE
 ENVIR = ENVIRONMENT
 EO = ELECTRICAL OUTLET
 EP OR EPY = EPOXY PAINT
 EPDM = ETHYLENE PROPYLENE DIENE MONOMER
 EPS = EXPANDED POLYSTYRENE BOARD (INSULATION)
 EQ = EQUAL
 EQ SP = EQUALLY SPACED
 EQUIV = EQUIVALENT
 ERF = EPOXY RESIN FLOORING
 ES = EACH SIDE
 ESCAL = ESCALATOR
 ESMT = EASEMENT
 ESTB = ESTABLISH
 ETC = AND SO FORTH ET CETERA
 EW = EACH WAY
 EWC = ELECTRIC WATER COOLER
 EWS = EYE WASH STATION
 EXC = EXCAVATE
 EXCL = EXCLUDE
 EXEC = EXECUTE
 JT = JOINT
 K
 KA = CYLINDER LOOKS KEYED ALIKE
 KBD = KEYBOARD
 KIT = KITCHEN
 KO = KNOCKOUT
 KPL = KICKPLATE
- F**
 FA = FIRE ALARM
 FAB = FABRIC
 FAS = FASCIA
 FAX = FACSIMILE
 FBC = FIRE BLANKET CABINET
 FC = FILE CABINET
 FD = FLOOR DRAIN
 FDC = FIRE DEPARTMENT CONNECTION
 FDR = FIRE DOOR
 FDTN OR FDN OR FND = FOUNDATION
 FDV = FIRE DEPARTMENT VALVE
 FE = FIRE EXTINGUISHER
 FEC = FIRE EXTINGUISHER CABINET
 FIG = FIGURE
 FIN = FINISH
 FIXT = FIXTURE
 FL MAT = FLOOR MAT
 FLASH = FLASHING
 FLG = FLANGE
 FLG = FLOORING
 FLR = FLOOR
 FLR OR F = FILLER
 FLUOR = FLUORESCENT
 FN = FENCE
 FOUNT = FOUNTAIN
 FP = FIRE PROTECTION OR FIRE PROOF
 FPL = FIREPLACE
 FPSO = FIRE PROOF SELF CLOSING
 FR = FIRE RESISTANT
 FR = FRAME
 FR SNK OR FR S = FLUSHING RIM SINK
 FRA = FIRE RATED ASSEMBLY
 FREQ = FREQUENCY
 FRM = FRAMING
 FRP = FIBER REINFORCED POLYESTER OR FIBERGLASS REINFORCED PLASTIC
 FRTR = FIRE RETARDANT TREATED WOOD
 FRZ = FREEZER
 FS = FULL SCALE OR FULL SIZE
 FSTNR = FASTENER
 FSTOP = FIRE STOPPING
 FT = FEET OR FOOT OR FIRE TREATED
 FTG = FOOTING
 FTR = FINNED TUBE RADIATION
 FURN = FURNISH OR FURNITURE
 FUT = FUTURED EGRESS
 FV = FLUSH VALVE
 FW = FIRE WALL
 FWC = FABRIC WALLCOVERING
 FWP = FABRIC WRAPPED PANEL
- G**
 G = GROUND
 GA = GAUGE
 GAL = GALLON
 GALV = GALVANIZED
 GB = GRAB BAR
 GC = GENERAL CONTRACTOR
 GEN = GENERAL OR GENERATOR
 GI = GALVANIZED IRON
 GL = GLASS
 QL = GROUND LEVEL
 GLU LAM = GLUED LAMINATED WOOD
 GLZ = GLAZING
 GKMK GRAND MASTER KEYPAD
 GPC = GYPSUM PLASTER CEILING
 GPS = GRAPHIC PANEL SYSTEM
 GR = GUARDRAIL
 GRAD = GRADIENT
 GRDN = GARDEN
 GRTG = GRATING
 GRV = GROOVE
 GT = GLASS TILE
 GT = GROUT
 GWT = GLAZED WALL TILE
 GYM = GYMNASIUM
 GYP = GYPSUM
 GYP BD OR GYB OR CWB = GYPSUM BOARD
 GYP SHTG = GYPSUM SHEATHING
- H**
 H = HUMIDISTAT
 H PLAM = HIGH PRESSURE PLASTIC LAMINATE
 HB = HOSE BIBB
 HC = HANDICAP
 HC = HOLLOW CORE
 HCP = HANDICAPPED
 HD = HAND DRYER
 HDW OR HWB OR HW = HARDWARE
 HEX = HEXAGON
 HGR = HANGER
 HDLN = HOLDDOWN
 HM = HOLLOW METAL
 HMDR = HOLLOW METAL DOOR AND FRAME
 HWF = HOLLOW METAL FRAME
 HNDRL OR HR = HANDRAIL
 HO OR H = HOLD OPEN
 HORIZ = HORIZONTAL
 HPS = HIGH PERFORMANCE COATING
 HPLAM = HIGH PRESSURE PLASTIC LAMINATE
 HR = HANDRAIL
 HSAN OR SDSP = HAND SANITIZER
 HSKPG OR HSKG = HOUSEKEEPING
 HST = HOST
 HSTOP = HOSPITAL STOP
 HT = HEIGHT
 HTR = HEATER
 HVAC = HEATING, VENTILATING, AND AIR CONDITIONING
 HYY = HEAVY
 HWD = HARDWOOD
 HWY = HIGHWAY
 HYD = HYDRANT
- I**
 IC = IRONING CABINET
 ID = INSIDE DIAMETER
 ID = INTEGRATED DOOR ASSEMBLY
 IL = INTERLOCKED
 ILLUM = ILLUMINATION
 ILQ = EQUAL
 INCL = INCLUDED
 INFO = INFORMATION
 INSTL = INSTALL
 INSUL = INSULATION
 INT = INTERIOR
 INTERCOM OR IC = INTERCOMMUNICATION
 IR = INSIDE RADIUS
 ISO = ISOMETRIC
- J**
 JAN = JANITOR
 J-BOX OR JB = JUNCTION BOX
 JS = JANITOR'S SINK
 JST = JOIST
 JT = JOINT
- K**
 KA = CYLINDER LOOKS KEYED ALIKE
 KBD = KEYBOARD
 KIT = KITCHEN
 KO = KNOCKOUT
 KPL = KICKPLATE
- L**
 L = ANGLE
 L CL = LINEN CLOSET
 LAD = LADDER
 LAM = LAMINATE
 LAU OR LDRY = LAUNDRY
 LAV OR L = LAVATORY
 LRG = LARGE
 LT = LIGHT
 LT SW = LIGHT SWITCH
 LTD = LIMITED
 LTO = LIGHTING
 LVR = LOUVER
 LYR = LAYER
 LYT = LAYOUT
- M**
 M = MALE
 M = MECHANICAL SEAL FOR LIGHT PROOF & SOUND RETARDING
 MACH = MACHINE
 MAG LOCK = MAGNETIC LOCK
 MAINT = MAINTENANCE
 MAN = MANUAL
 MATL OR MAT = MATERIAL
 MAX = MAXIMUM
 MC = MEDICINE CABINET
 MC = MULTI COLOR COATING
 MCB = METAL CORNER BEAD
 MDF = MEDIUM DENSITY FIBERBOARD
 MECH = MECHANICAL
 MED = MEDIUM
 MEL = MELAMINE
 MEMB = MEMBRANE
 MEP = MECHANICAL, ELECTRICAL AND PLUMBING
 MEZZ = MEZZANINE
 MFR OR MFG = MANUFACTURER OR MANUFACTURING
 MGT = MANAGEMENT
 MHO = MAGNETIC HOLD OPEN
 MIC = MICROPHONE
 MIN = MINIMUM
 MIN = MINUTE, FIRE RATING
 MIRR OR MR = MIRROR
 MISC = MISCELLANEOUS
 MIT OR MTR = MITER
 MKBD = MARKER BOARD
 MKD = MASTERKEYED
 MLDG = MOULDING
 MLWK = MILLWORK
 MRB = MARBLE BASE
 MRF = MARBLE FLOOR
 SCHED = SCHEDULE
 MTD = MOUNTED OR MOUNTING
 MTG = MEETING
 MTL OR MET = METAL
 MW OR MICRO = MICROWAVE
- N**
 N = NORTH
 NAT = NATURAL
 NF = NATURAL FINISH
 NIC = NOT IN CONTRACT
 NL = NIGHT LIGHT
 NO = NUMBER
 NOM = NOMINAL
 NORM = NORMAL
 NP = NO PAINT
 NTS = SPECIFIC DOOR NOTE
 NT = SPECIFIC FINISH NOTE
 NT = NOT TO SCALE
- O**
 OA = OVERALL
 OC = ON CENTER
 OCC = OCCUPANT
 OFS = OVERFLOW SCUPPER
 OH = OVERHEAD
 OHS = OVERHEAD STOP
 OPNG = OPENING
 OPQ = OPAQUE
 OPR = OPERABLE
 OPT = OPTIONAL
 OR = OUTSIDE RADIUS
 ORD = OVERFLOW ROOF DRAIN
 ORN = ORNAMENTAL
 OVFL = OVERFLOW
- P**
 PA = PUBLIC ADDRESS
 PANB = PANIC BOLT
 PAR = PARAPET OR PARALLEL
 HCP = HANDICAPPED
 PARO = PARQUET FLOORING
 PART = PARTIAL
 PB = PAINTED BASE
 PB = PUSHBUTTON
 PBD = PARTICLEBOARD
 PC = PERSONAL COMPUTER OR PORTLAND CEMENT
 PCB OR PC = PRECAST CONCRETE
 PCD = PAPER CUP DISPENSER
 PE = PHOTOELECTRIC
 PEN = PENETRATE
 PEND = PENDANT
 PPW = POLYPROPYLENE FABRIC WALLCOVERING
 PGBD = PEGBOARD
 PH = PENTHOUSE
 PH OR P = PANIC HARDWARE
 PHAR OR PHARM = PHARMACY
 PL = PLASTER
 PIV = PIVOTED
 PL = PROPERTY LINE
 PLAM = PLASTIC LAMINATE
 PLAS OR PL = PLASTER OR PLASTIC
 PLUMB = PLUMBING
 PNL = PANEL
 PP = PUSH/PULL
 PP PL = PUSH/PULL PLATE
 PR = PAIR
 PREFAB = PREFABRICATE
 PRELIM = PRELIMINARY
 PRES = PLASTIC RESIN
 PRKG = PARKING
 PROJ = PROJECT
 PROP = PROPERTY
 PS = PULL STATION
 PSH = PURSE SHELF
 PT OR P = PAINT
 PTD OR PTC = PAPER TOWEL DISPENSER
 PTR OR PART = PARTITION
 PTR = PRINTER
 PVC = POLYVINYL CHLORIDE (PLASTIC)
 PW = PASS WINDOW
 PWP = PLASTIC WALL PROTECTION
- Q**
 QA = QUALITY ASSURANCE
 QAL = QUALITY
 QT = QUARRY TILE
 OTB = QUARRY TILE BASE
 OTF = QUARRY TILE FLOOR
 QTY = QUANTITY
- R**
 R = RADIUS
 R = RISER
 RB = RESILIENT BASE
 RB = RUBBER BASE
 RB HK OR RH = ROBE HOOK
 RBR = RUBBER
 RBRB = RUBBER BASE
 RC = REINFORCED CONCRETE
 RCP = REFLECTED CEILING PLAN
 RCVR = RECEIVER
 RD = ROOF DRAIN
 RDP = ROOF DAVID POST
 RE = RELOCATE EXISTING
 REC = RECESSED
 RECP = RECEPTION
 RECP T = RECEPTION
 REF OR REFR = REFRIGERATOR
 REIN = REINFORCE
 REM = REMOVABLE
 REPL = REPLACE
 REQ OR REOD = REQUIRE OR REQUIRED
 REST = RESTROOM
 REV = REVISION OR REVERSE
 RFP = REQUEST TO EXIT
 RF OR RSF = RESILIENT FLOORING OR RESILIENT SHEET FLOORING
 RFG OR ROOF = ROOFING
 RFS = ROOM FINISHES SCHEDULE
 RH = ROOF HATCH
 RM = ROOM
 RO = ROUGH OPENING
 ROS = ROOM OPENING SCHEDULE
 ROW = RIGHT OF WAY
 RR = REMOTE RELEASE BUTTON
 RSTN = ROUGH STONE
 RTF = RUBBER TILE FLOOR
 RTC = RATING
 RTD = ROOF TIE OFF POST
 RTS = RESILIENT TRANSITION STRIP
 RTU = ROOF TOP UNIT
 RWC = RAIN WATER CONDUCTOR
 RWL = RAIN WATER LEADER
- S**
 S = SOUTH OR SINK
 SAF = SPRAYED APPLIED FIRE PROOFING
 SALV = SALVAGE
 SAN = SANITARY
 SB = SPLASH BLOCK
 SC = SOLID CORE
 SC = SPECIAL COATING, HIGH BUILD GLAZED COATING
 SCHED = SCHEDULE
 SCP OR SCUP = SCUPPER
 SDA = SPECIAL DOOR ASSEMBLY
 SECT = SECTION
 SEP = SEPARATE
 SOD = SLIDING GLASS DOOR
 SHDR OR SD = SHOWER DRAIN
 SHT = SHEET
 SIM = SIMILAR
 SK = SKETCH
 SKLT = SKYLIGHT
 SL = SEALER
 SLNT = SEALANT
 SM = SMALL
 SMLS = SEAMLESS
 SP = STANDPIPE
 SPEC = SPECIFICATION
 SPR = SINGLE PLY ROOFING
 SS = SERVICE SINK
 SSS = SOLID SURFACE
 SSF = SOLID SURFACE FABRICATION
 SST = STAINLESS STEEL
 ST = STAIRS
 ST OR STNT = STONE TILE
 STC = SOUND TRANSMISSION CLASS
 STD = STANDARD
 STN = STONE
 STNB = STONE BASE
 STOR = STORAGE
 STR = STRAIGHT
 STR = STRINGERS
 STRUCT = STRUCTURAL
 SUPVR OR SUPR = SUPERVISOR
 SV = SHEET VINYL
 SW = SOLID VINYL FLOOR TILE
 SW = SWITCH
 SWDR = SWING DOOR
 SYM = SYMBOL
 SYS = SYSTEM
- T**
 T = THERMOSTAT
 T = TREAD
 T OR (T) = TEMPERED GLASS
 TB = THROUGH BOLT OR TOWEL BAR
 TDSP OR TH = TISSUE DISPENSER, TISSUE HOLDER
 TEL = TELEPHONE
 TEMP = TEMPORARY
 TER OR TERR = TERRAZZO
 THK = THICKNESS
 TL = TIMER LOCK (ELECTRIC LOCK/UNLOCK USING A TIMER)
 TOILET
 TOC = TABLE OF CONTENT
 TOF = TOP OF FOOTING/FOUNDATION
 TOS = TOP OF STEEL
 TOW = TOP OF WALL
 TP OR TPART = TOILET PARTITION
 TPH = TOILET PAPER HOLDER
 TR = TREAD OR TOWEL RACK
 TS = TRANSITION STRIP
 TS = TUBE STEEL
 TSCD = TOILET SEAT COVER DISPENSER
 TSH = TOWEL SHELF
 TSTAT OR T = THERMOSTAT
 TT = TERRAZZO TILE
 TV = TELEVISION
 TYP = TYPICAL
- V**
 VAN = VANITY
 VB = VINYL BASE
 VCT = VINYL COMPOSITION TILE
 VERT = VERTICAL
 VEST = VESTIBULE
 VNR = VENEER
 VRFY OR VER = VERIFY
 VWC = VINYL WALL COVERING
 VWF = VINYL WALL FABRIC
- W**
 WB = WALL BORDER
 WB OR WDB = WOOD BASE
 WC = WATER CLOSET
 WC OR W = WALL COVERING
 WD = WOOD
 WDP = WOOD PANNELLING
 WDW = WINDOW
 WFAB OR WF = WALL FABRIC
 WHCH = WHEELCHAIR
 WDM = WALK OFF MAT
 WF = WORKING POINT
 WR = WEATHER RESISTANT
 WS = WALL STOP
 WS = WEATHERSTRIP
 WSCT = WAINSCOT
 WT = WATERTIGHT
 WT = WINDOW TREATMENT

SHEET TITLE: ABBREVIATIONS

APPROVED BY: DE **DATE: 04-28-2025**

DRAWN BY: Deily E **CHECKED BY: SM** **IN CHARGE: Deily E**

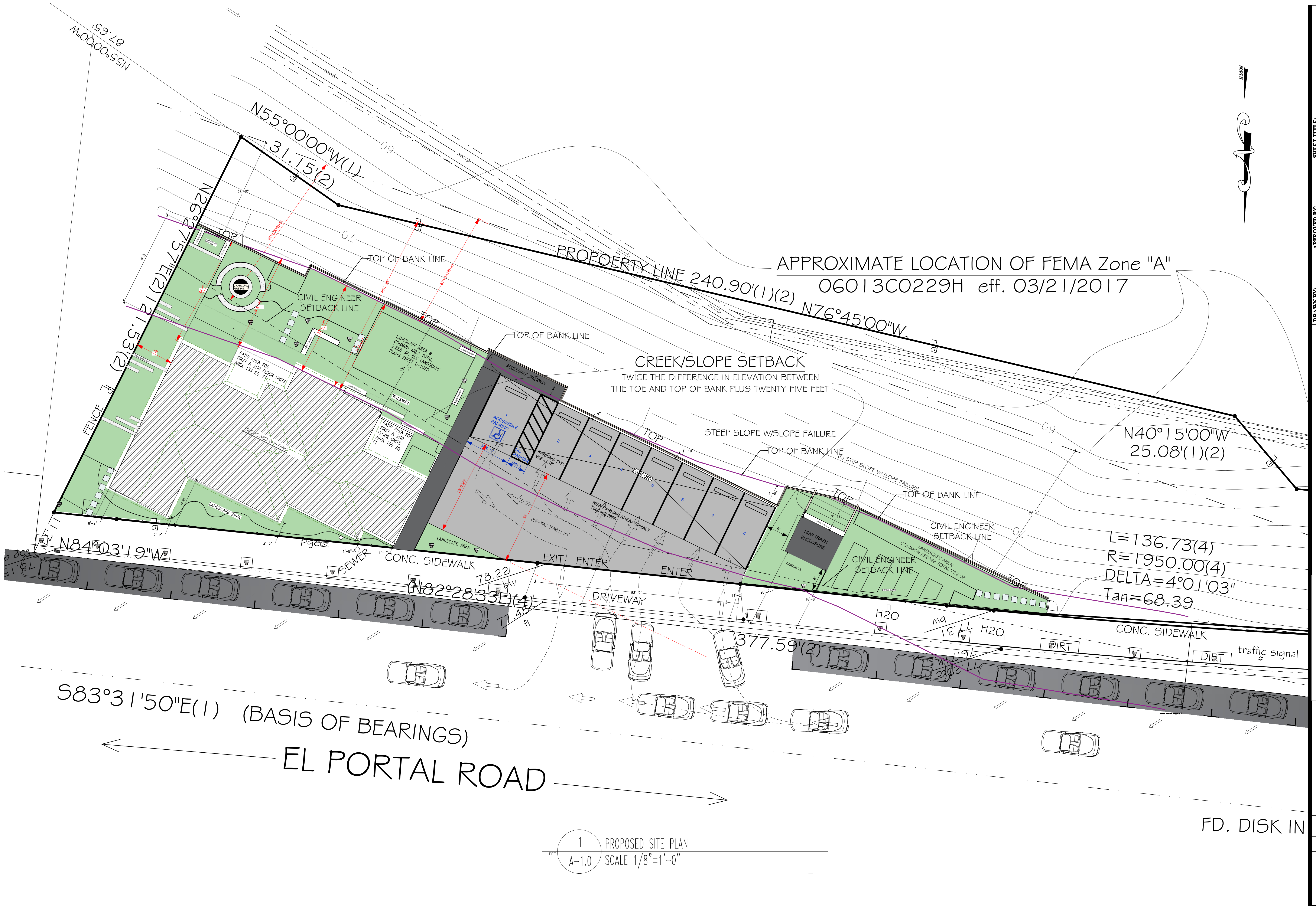
PROPOSED APARTMENT BUILDING FOR: MAGDALENO MAGANA 2834 EL PORTAL DR, SAN PABLO, CA 94806

510-610-0992

SINERDES
 400 HARRISON AND GAVANILLO AVENUES
 BERKELEY, CA 94704
 415-863-1111
 WWW.SINERDES.COM

PROJECT NO. 09-266

A0.1



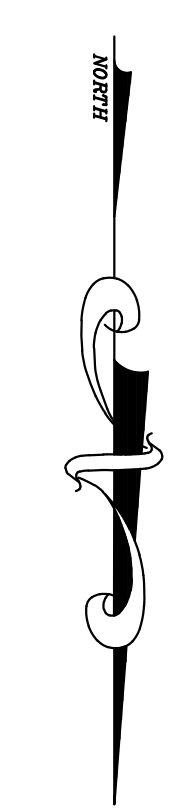
APPROXIMATE LOCATION OF FEMA Zone "A"
 06013C0229H eff. 03/21/2017

CREEK/SLOPE SETBACK
 TWICE THE DIFFERENCE IN ELEVATION BETWEEN
 THE TOE AND TOP OF BANK PLUS TWENTY-FIVE FEET

$L=136.73(4)$
 $R=1950.00(4)$
 $\Delta=4^{\circ}01'03''$
 $Tan=68.39$

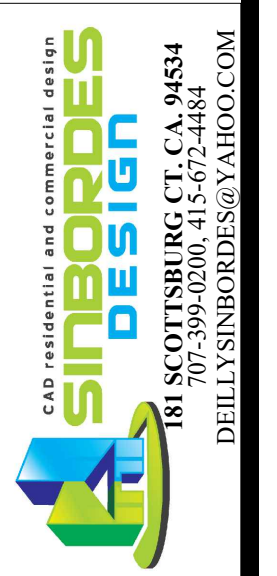
S83°31'50"E(1) (BASIS OF BEARINGS)
 EL PORTAL ROAD

1 PROPOSED SITE PLAN
 A-1.0 SCALE 1/8"=1'-0"



SHEET TITLE:	PROPOSED SITE PLAN
APPROVED BY:	DE
DATE:	04-28-2025
REV.:	REV.
DRAWN BY:	Deilly E
CHECKED BY:	SM
IN CHARGE:	Deilly E

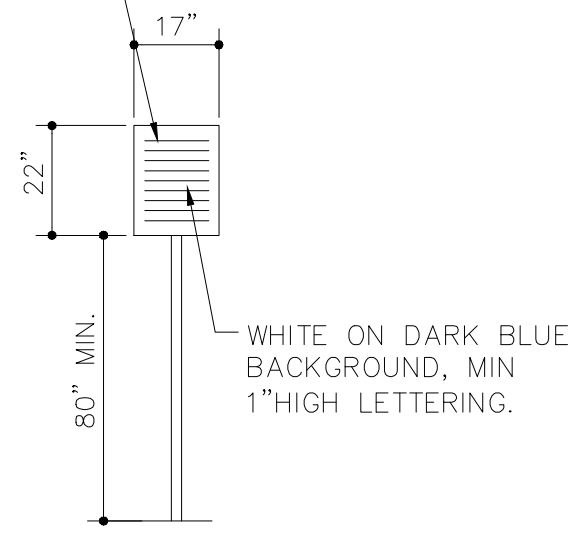
PROPOSED APARTMENT BUILDING
 FOR: MAGDALENO MAGANA
 2834 EL PORTAL DR, SAN PABLO, CA 94806
 510-610-0992



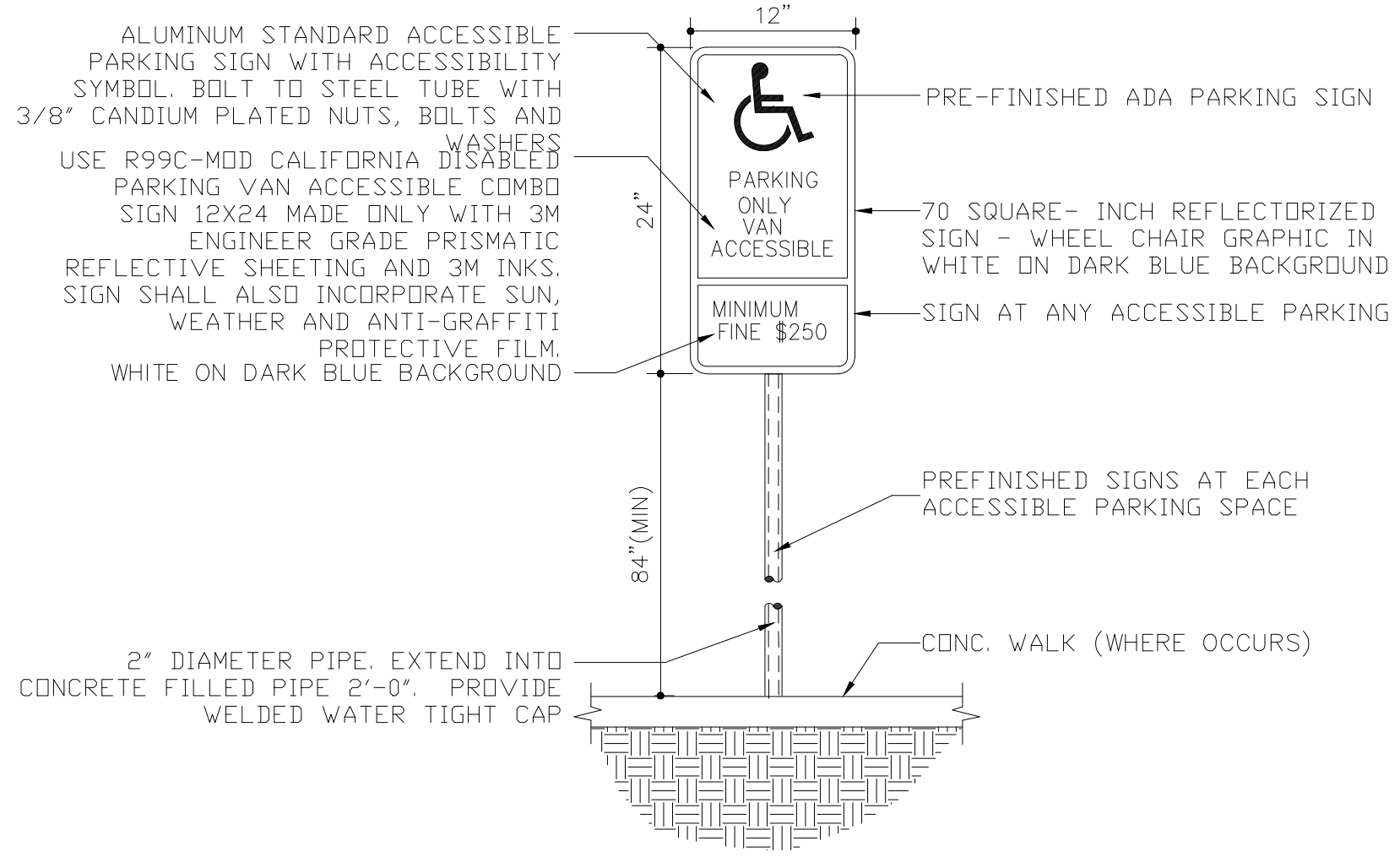
PROJECT NO.	09-266
SHEET 1 OF 14	

A-1.0

UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT NAPA POLICE DEPARTMENT OR BY TELEPHONING 707-257-9573



1 TOW AWAY SIGN
SCALE:- NTS



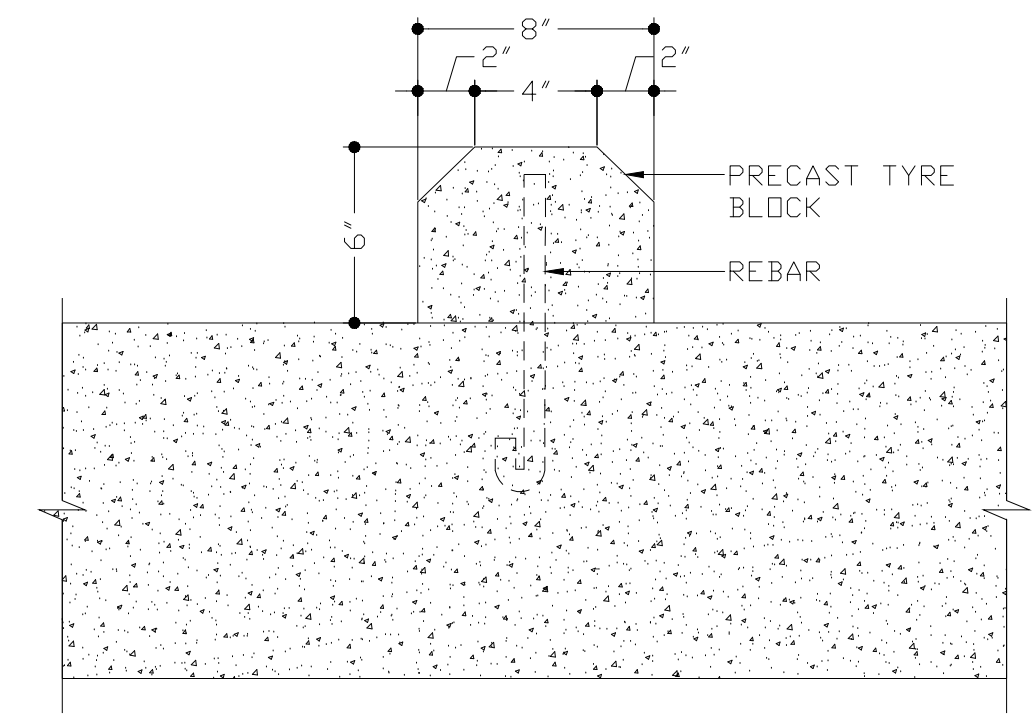
2 VAN ACCESSIBLE PARKING SPACE SIGN
SCALE:- NTS

11B-502.2 VEHICLE SPACES. CAR AND VAN PARKING SPACES SHALL BE 216 INCHES (5486 MM) LONG MINIMUM. CAR PARKING SPACES SHALL BE 108 INCHES (2743 MM) WIDE MINIMUM AND VAN PARKING SPACES SHALL BE 144 INCHES (3658 MM) WIDE MINIMUM. SHALL BE MARKED TO DEFINE THE WIDTH, AND SHALL HAVE AN ADJACENT ACCESS AISLE COMPLYING WITH SECTION 11B-502.3.

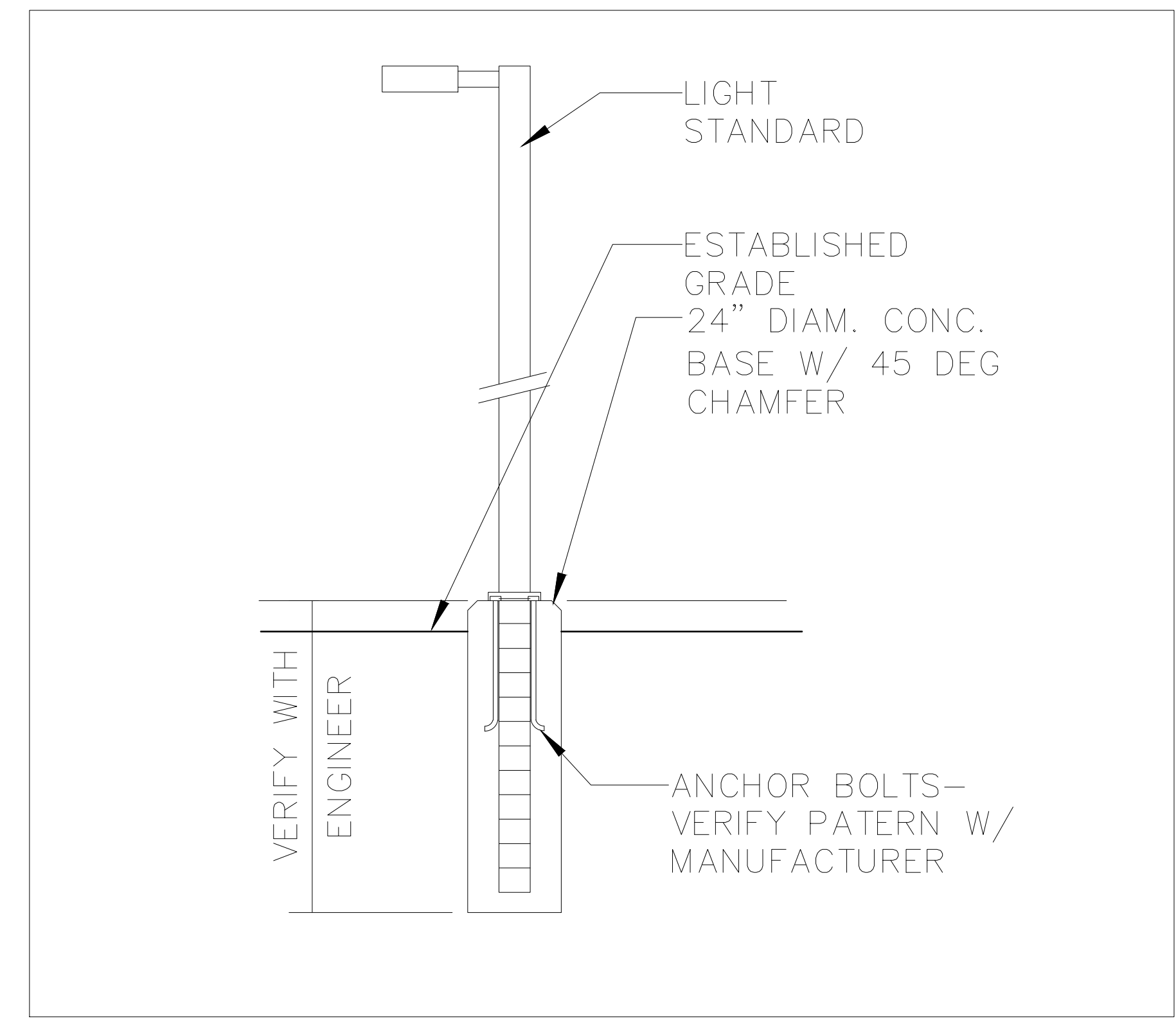
11B-502.3.1 WIDTH. ACCESS AISLES SERVING CAR AND VAN PARKING SPACES SHALL BE 60 INCHES (1524 MM) WIDE MINIMUM.

11B-502.3.3 MARKING. ACCESS AISLES SHALL BE MARKED WITH A BLUE PAINTED BORDERLINE AROUND THEIR PERIMETER. THE AREA WITHIN THE BLUE BORDERLINES SHALL BE MARKED WITH HATCHED LINES A MAXIMUM OF 36 INCHES (914 MM) ON CENTER IN A COLOR CONTRASTING WITH THAT OF THE AISLE SURFACE, PREFERABLY BLUE OR WHITE. THE WORDS "NO PARKING" SHALL BE PAINTED ON THE SURFACE WITHIN EACH ACCESS AISLE IN WHITE LETTERS A MINIMUM OF 12 INCHES (305 MM) IN HEIGHT AND LOCATED TO BE VISIBLE FROM THE ADJACENT VEHICULAR WAY. ACCESS AISLE MARKINGS MAY EXTEND BEYOND THE MINIMUM REQUIRED LENGTH.

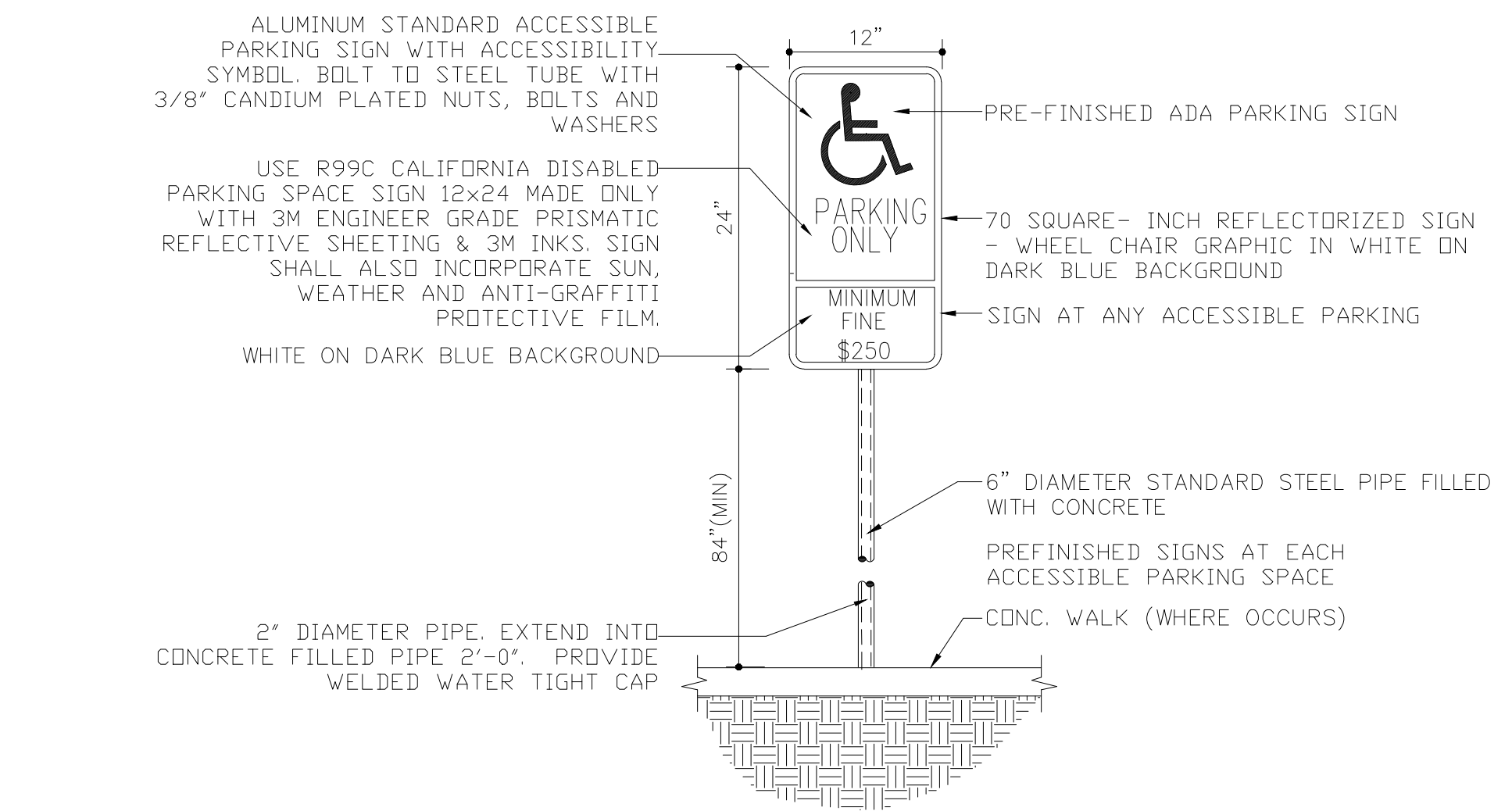
BOTTOM OF THE SIGN. SIGNS LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL BE 80 INCHES (2032 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN. SIGNS MAY ALSO BE PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE VEHICLE SPACE. 11B-812.9 SURFACE MARKING



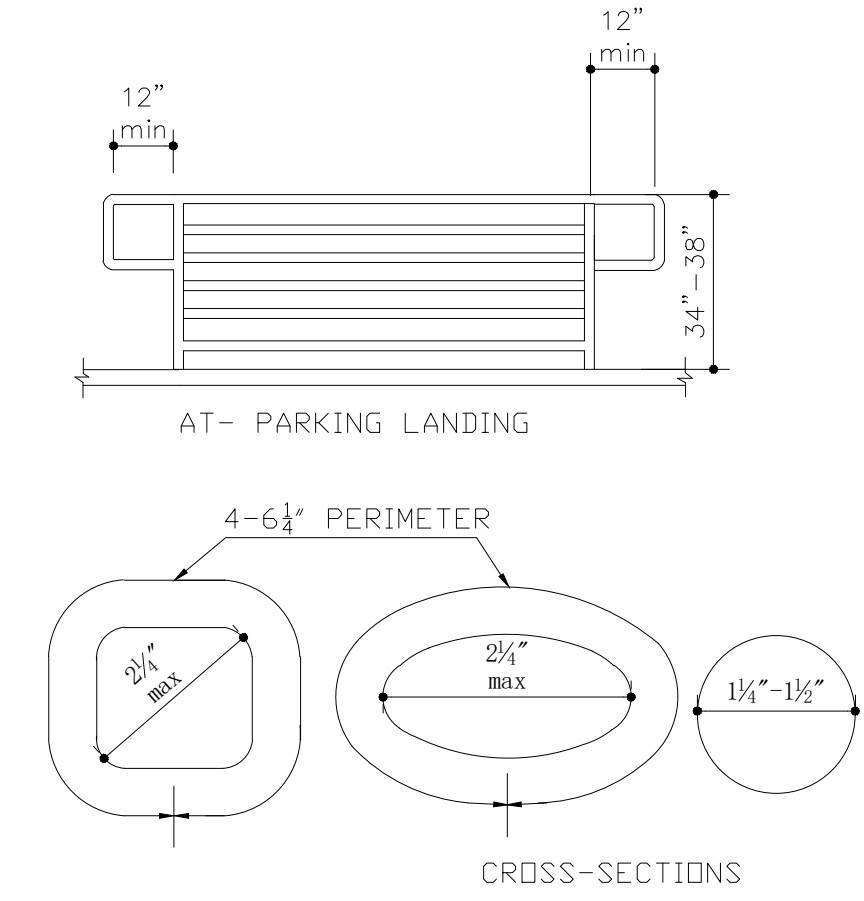
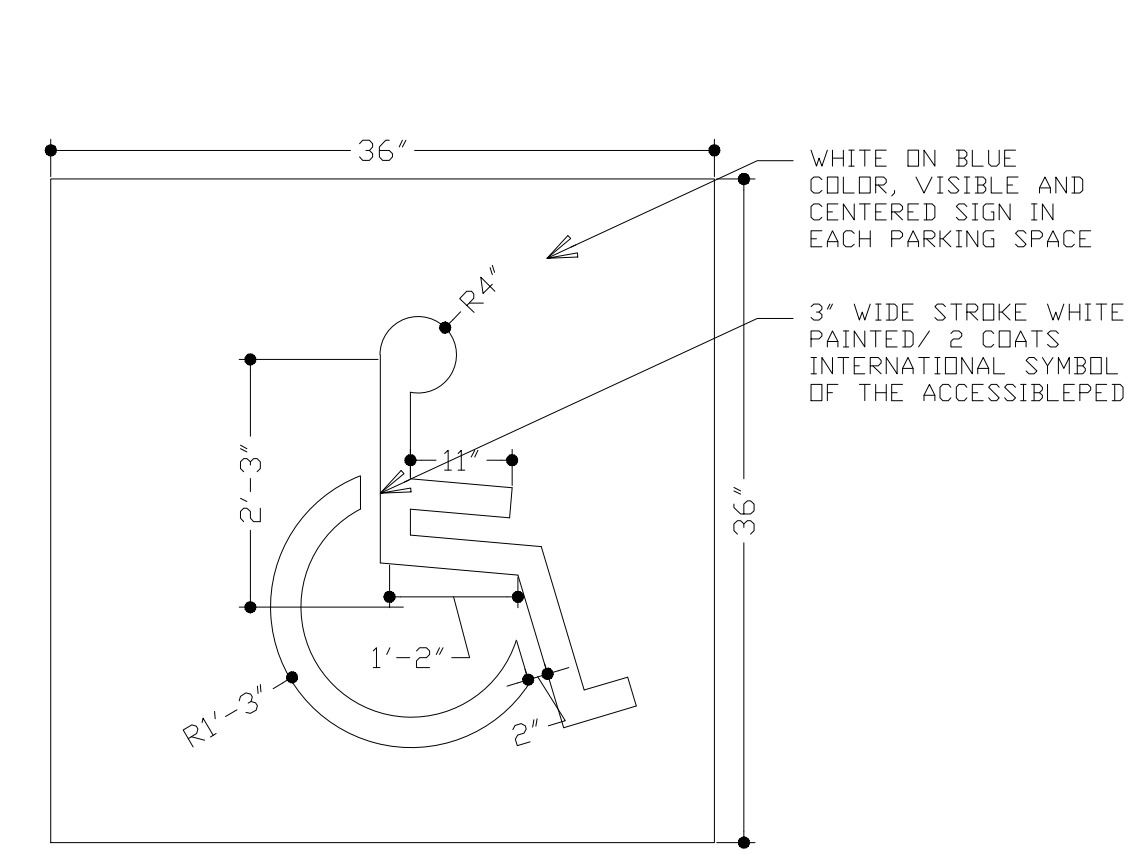
6 TIRE BLOCK (WHEEL STOP) DETAIL
SCALE:- NTS



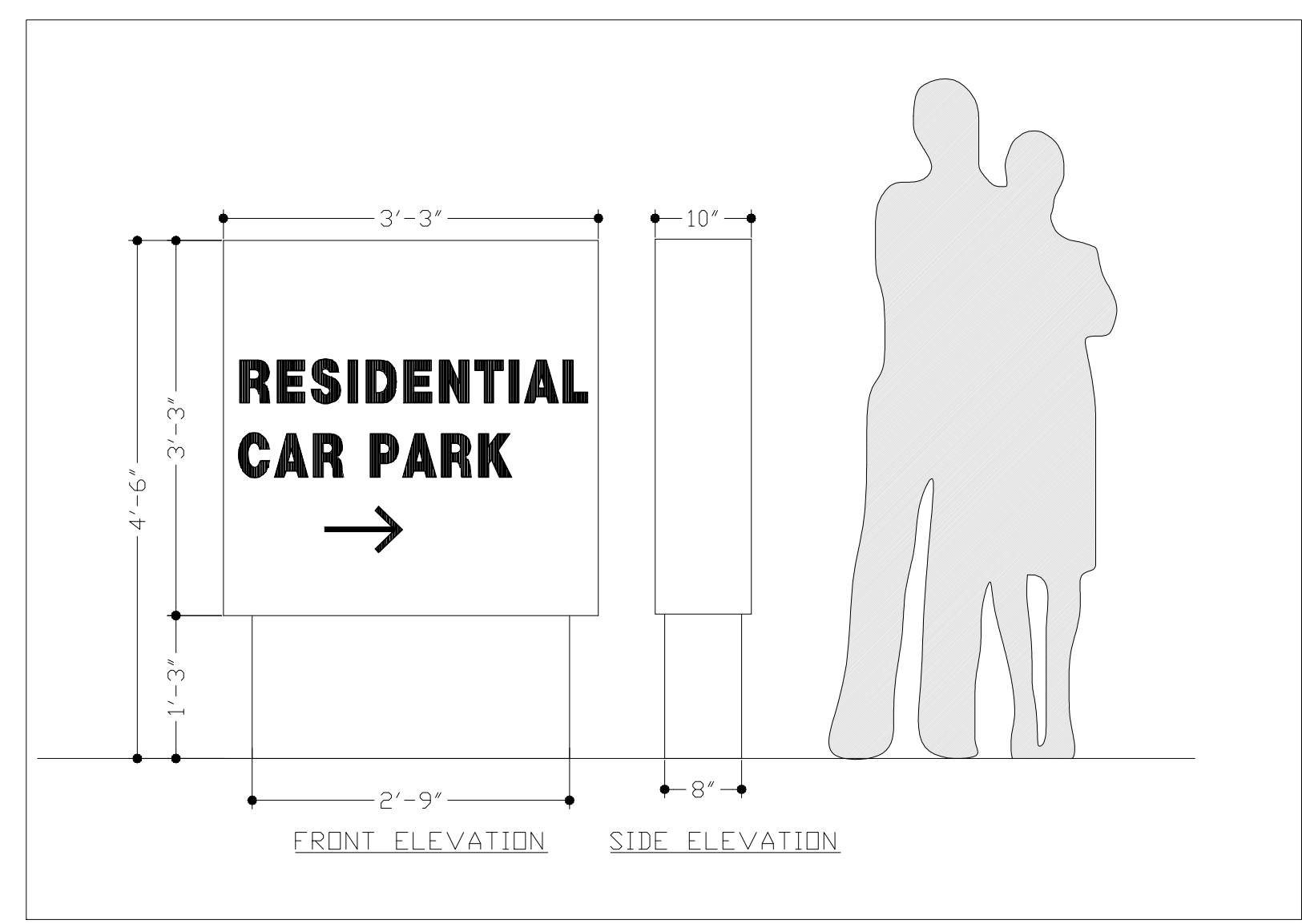
5 SITE LIGHT POLE
SCALE: 3/4" = 1'-0" REF.



3 DISABLED STANDARD PARKING SPACE SIGN
SCALE:- NTS



8 TYPICAL HANDRAIL
SCALE: N.T.S. REF: A1.2



7 DIRECTIONAL SIGNAGE
SCALE:- NTS



6 LEV AND CARPOOL PARKING SIGN
SCALE:- NTS

NOTE:
1. EACH ACCESSIBLE PARKING SPACE RESERVED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED BY A REFLECTIVE SIGN CONSISTING OF THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" COMPLYING WITH SECTION 1143A.8. THE SIGN SHALL NOT BE SMALLER THAN 70 SQUARE INCHES (4516 MM) IN AREA, AND SHALL BE POSTED 60" MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED TO THE BOTTOM OF THE SIGN. SIGNS LOCATED ON ACCESSIBLE ROUTES SHALL BE POSTED AT A MINIMUM HEIGHT OF 80" (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SURFACE OF THE ACCESSIBLE ROUTE, MEASURED TO THE BOTTOM OF THE SIGN.
2. SIGNS IDENTIFYING ACCESSIBLE PARKING SPACES SHALL BE VISIBLE FROM EACH PARKING SPACE THEY SERVE, AND SHALL BE PERMANENTLY POSTED IMMEDIATELY ADJACENT TO THE PARKING SPACE OR WITHIN THE PROJECTED PARKING SPACE WIDTH AT THE HEAD END OF THE PARKING SPACE. SIGNS MAY ALSO BE PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE.

4 ACCESSIBLE STALL GRAPHIC
SCALE:- NTS REF: A1.0.0

SHEET TITLE: **PROPOSED SITE PLAN DETAILS**

APPROVED BY: **DE** DATE: **01-25-2024**

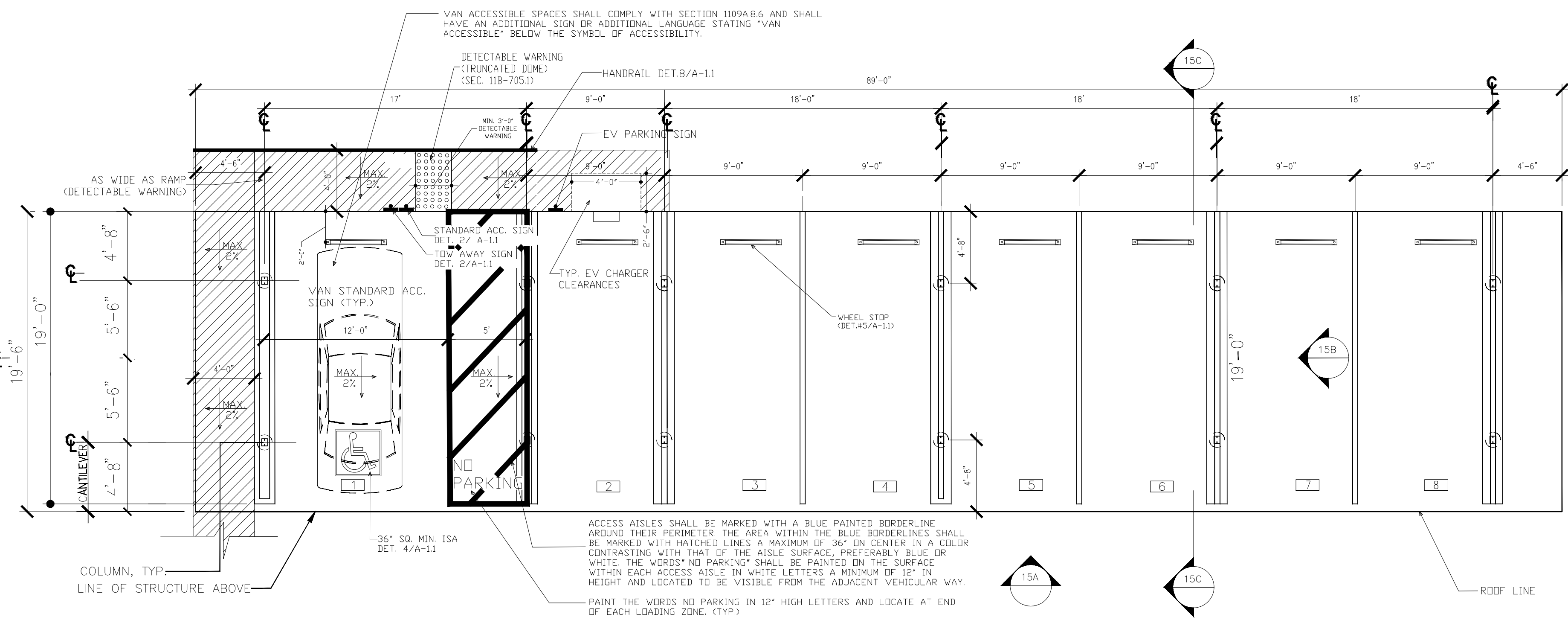
DRAWN BY: **Deilly E** CHECKED BY: **SM** IN CHARGE: **Deilly E**

PROJECT NO. 09-266
SHEET 1 OF 14

PROPOSED APARTMENT BUILDING
FOR: MAGDALENO MAGANA
2834 EL PORTAL DR, SAN PABLO, CA 94806
510-610-0992

DESIGNED BY: **SINBORDES DESIGN**
181 SCOTTSBURG CT, CA 94844
DEILLY@SINBORDES.COM

A-1.1



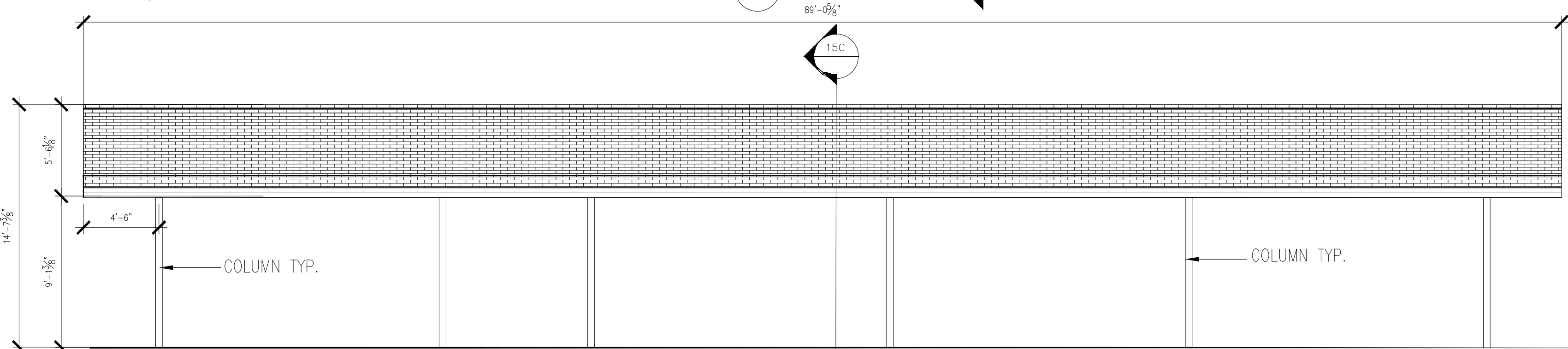
1 TYPICAL CARPORT PARKING PLAN

SCALE: 3/16" = 1'-0"



7B TYPICAL ROOF PLAN

SCALE: 3/16" = 1'-0"



15A FRONT ELEVATION

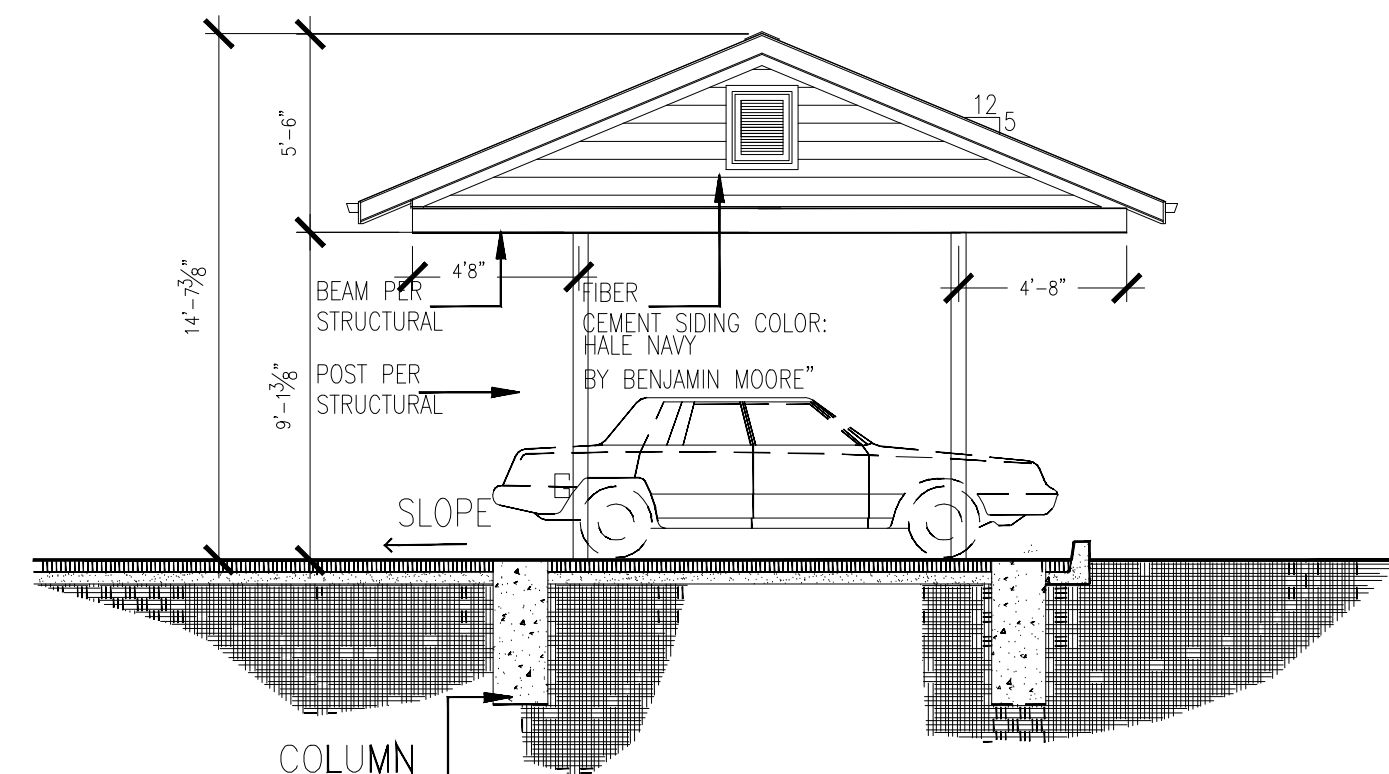
SCALE: 3/16" = 1'-0"

NOTES

- IN ACCORDANCE TO 2022 C.B.C. CARPORTS SHALL BE OPEN ON AT LEAST TWO SIDES. CARPORT FLOOR SURFACES SHALL BE APPROVED NON-COMBUSTIBLE MATERIAL. THE AREA OF FLOOR USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARDS THE MAIN VEHICLE ENTRY DOORWAY.
- CITY OF SAN PABLO STANDARDS: THE CARPORT STRUCTURES SHALL BE ARCHITECTURALLY INTEGRATED WITH THE PRIMARY STRUCTURES PER APPROVAL OF THE PLANNING DIRECTOR. BUILDING MATERIALS AND COLORS SHALL BE CONSISTENT WITH THE PRIMARY STRUCTURE.

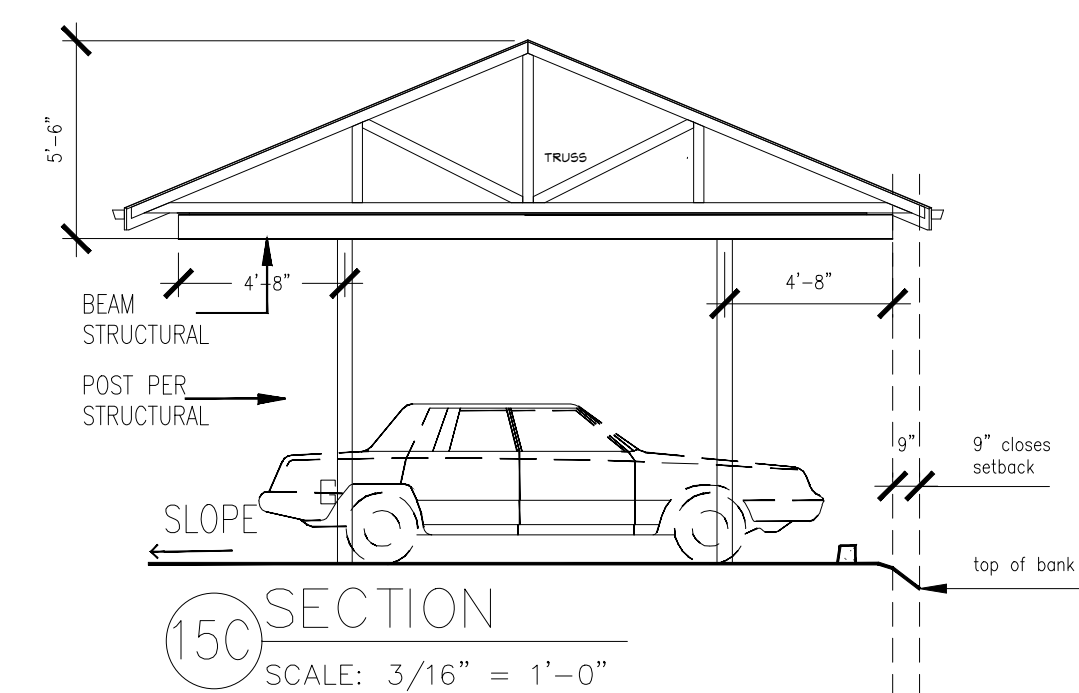
EV CHARGING STATION NOTES

- 11B-812.1 GENERAL
ELECTRIC VEHICLE CHARGING STATIONS (EVCS) SHALL COMPLY WITH SECTION 11B-812 AS REQUIRED BY SECTION 11B-228.3. WHERE VEHICLE SPACES AND ACCESS AISLES ARE MARKED WITH LINES, MEASUREMENTS SHALL BE MADE FROM THE CENTERLINE OF THE MARKINGS.
- 11B-812.2 OPERABLE PARTS
OPERABLE PARTS SHALL COMPLY WITH SECTION 11B-309.
- 11B-812.3 FLOOR OR GROUND SURFACES
VEHICLE SPACES AND ACCESS AISLES SERVING THEM SHALL COMPLY WITH SECTION 11B-302. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE VEHICLE SPACE THEY SERVE. CHANGES IN LEVEL, SLOPES EXCEEDING 1:48, AND DETECTABLE WARNINGS SHALL NOT BE PERMITTED IN VEHICLE SPACES AND ACCESS AISLES.
- 11B-812.4 VERTICAL CLEARANCE
VEHICLE SPACES, ACCESS AISLES SERVING THEM, AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF 98 INCHES (2489 MM) MINIMUM. WHERE PROVIDED, OVERHEAD CABLE MANAGEMENT SYSTEMS SHALL NOT OBSTRUCT REQUIRED VERTICAL CLEARANCE.
- 11B-812.5 ACCESSIBLE ROUTES
11B-812.5.1 ACCESSIBLE ROUTE TO BUILDING OR FACILITY
EVCS COMPLYING WITH SECTION 11B-812 THAT SERVE A PARTICULAR BUILDING OR FACILITY SHALL BE LOCATED ON AN ACCESSIBLE ROUTE TO AN ENTRANCE COMPLYING WITH SECTION 11B-206.4. WHERE EVCS DO NOT SERVE A PARTICULAR BUILDING OR FACILITY, EVCS COMPLYING WITH SECTION 11B-812 SHALL BE LOCATED ON AN ACCESSIBLE ROUTE TO AN ACCESSIBLE PEDESTRIAN ENTRANCE OF THE EV CHARGING FACILITY.
- 11B-812.5.2 ACCESSIBLE ROUTE TO EV CHARGER
AN ACCESSIBLE ROUTE COMPLYING WITH SECTION 11B-402 SHALL CONNECT THE VEHICLE SPACE AND THE EV CHARGER WHICH SERVES IT.
- 11B-812.5.3 RELATIONSHIP TO ACCESSIBLE ROUTES
VEHICLE SPACES AND ACCESS AISLES SHALL BE DESIGNED SO THAT WHEN THE VEHICLE SPACE IS OCCUPIED THE REQUIRED CLEAR WIDTH OF ADJACENT ACCESSIBLE ROUTES IS NOT OBSTRUCTED. A CURB, WHEEL STOP, BOLLARDS, OR OTHER BARRIER SHALL BE PROVIDED IF REQUIRED TO PREVENT ENCRoACHMENT OF VEHICLES OVER THE REQUIRED CLEAR WIDTH OF ADJACENT ACCESSIBLE ROUTES.
- 11B-812.5.4 ARRANGEMENT
VEHICLE SPACES AND ACCESS AISLES SHALL BE DESIGNED SO THAT PERSONS USING THEM ARE NOT REQUIRED TO TRAVEL BEHIND VEHICLE SPACES OR PARKING SPACES OTHER THAN THE VEHICLE SPACE IN WHICH THEIR VEHICLE HAS BEEN LEFT TO CHARGE.
- 11B-812.5.5 OBSTRUCTIONS
EVCS SHALL BE DESIGNED SO ACCESSIBLE ROUTES ARE NOT OBSTRUCTED BY CABLES OR OTHER ELEMENTS.
- 11B-812.6 VEHICLE SPACES
VEHICLE SPACES SERVING VAN ACCESSIBLE, STANDARD ACCESSIBLE, AMBULATORY AND DRIVE-UP EVCS SHALL BE 216 INCHES (5486 MM) LONG MINIMUM AND SHALL COMPLY WITH SECTIONS 11B-812.6.1 THROUGH 11B-812.6.4 AS APPLICABLE. ALL VEHICLE SPACES SHALL BE MARKED TO DEFINE THEIR WIDTH.
- 11B-812.6.1 VAN ACCESSIBLE
VEHICLE SPACES SERVING VAN ACCESSIBLE EVCS SHALL BE 144 INCHES (3658 MM) WIDE MINIMUM AND SHALL HAVE AN ADJACENT ACCESS AISLE COMPLYING WITH SECTION 11B-812.7.
- 11B-812.6.2 STANDARD ACCESSIBLE
VEHICLE SPACES SERVING STANDARD ACCESSIBLE EVCS SHALL BE 108 INCHES (2743 MM) WIDE MINIMUM AND SHALL HAVE AN ADJACENT ACCESS AISLE COMPLYING WITH SECTION 11B-812.7.
- 11B-812.6.3 AMBULATORY
VEHICLE SPACES SERVING AMBULATORY EVCS SHALL BE 120 INCHES (3048 MM) WIDE MINIMUM AND SHALL NOT BE REQUIRED TO HAVE AN ADJACENT ACCESS AISLE.
- 11B-812.6.4 DRIVE-UP
VEHICLE SPACES SERVING DRIVE-UP EVCS SHALL BE 204 INCHES (5182 MM) WIDE MINIMUM AND SHALL NOT BE REQUIRED TO HAVE AN ADJACENT ACCESS AISLE.
- 11B-812.7 ACCESS AISLE
ACCESS AISLES SHALL ADJOIN AN ACCESSIBLE ROUTE. TWO VEHICLE SPACES SHALL BE PERMITTED TO SHARE A COMMON ACCESS AISLE. ACCESS AISLES SHALL BE 60 INCHES (1524 MM) WIDE MINIMUM AND SHALL EXTEND THE FULL REQUIRED LENGTH OF THE VEHICLE SPACES THEY SERVE.
- 11B-812.7.1 LOCATION
ACCESS AISLES AT VEHICLE SPACES SHALL NOT OVERLAP THE VEHICULAR WAY AND MAY BE PLACED ON EITHER SIDE OF THE VEHICLE SPACE THEY SERVE EXCEPT FOR VAN ACCESSIBLE SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE VEHICLE SPACES.
- 11B-812.7.2 MARKING
ACCESS AISLES AT VEHICLE SPACES SHALL BE MARKED WITH A PAINTED BORDERLINE AROUND THEIR PERIMETER. THE AREA WITHIN THE BORDERLINES SHALL BE MARKED WITH HATCHED LINES A MAXIMUM OF 36 INCHES (914 MM) ON CENTER. THE COLOR OF THE BORDERLINES, HATCHED LINES, AND LETTERS SHALL CONTRAST WITH THAT OF THE SURFACE OF THE ACCESS AISLE. THE BLUE COLOR REQUIRED FOR IDENTIFICATION OF ACCESS AISLES FOR ACCESSIBLE PARKING SHALL NOT BE USED. ACCESS AISLE MARKINGS MAY EXTEND BEYOND THE MINIMUM REQUIRED LENGTH.
- 11B-812.7.3 LETTERING
THE WORDS "NO PARKING" SHALL BE PAINTED ON THE SURFACE WITHIN EACH ACCESS AISLE IN LETTERS A MINIMUM OF 12 INCHES (305 MM) IN HEIGHT AND LOCATED TO BE VISIBLE FROM THE ADJACENT VEHICULAR WAY.
- 11B-812.8 IDENTIFICATION SIGNS
EVCS IDENTIFICATION SIGNS SHALL BE PROVIDED IN COMPLIANCE WITH SECTION 11B-812.8.
- 11B-812.8.1 FOUR OR FEWER
WHERE FOUR OR FEWER TOTAL EVCS ARE PROVIDED, IDENTIFICATION WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AND SIGNS IDENTIFYING VAN ACCESSIBLE SPACES SHALL NOT BE REQUIRED.
- 11B-812.8.2 FIVE TO TWENTY-FIVE
WHERE FIVE TO TWENTY-FIVE TOTAL EVCS ARE PROVIDED, ONE VAN ACCESSIBLE EVCS SHALL BE IDENTIFIED BY AN ISA COMPLYING WITH SECTION 11B-703.7.2.1. THE REQUIRED STANDARD ACCESSIBLE EVCS SHALL NOT BE REQUIRED TO BE IDENTIFIED WITH AN ISA.
- 11B-812.8.3 TWENTY-SIX OR MORE
WHERE TWENTY-SIX OR MORE TOTAL EVCS ARE PROVIDED, ALL REQUIRED VAN ACCESSIBLE AND ALL REQUIRED STANDARD ACCESSIBLE EVCS SHALL BE IDENTIFIED BY AN ISA COMPLYING WITH SECTION 11B-703.7.2.1.
- 11B-812.8.4 AMBULATORY
AMBULATORY EVCS SHALL NOT BE REQUIRED TO BE IDENTIFIED BY AN ISA.
- 11B-812.8.5 DRIVE-UP
DRIVE-UP EVCS SHALL NOT BE REQUIRED TO BE IDENTIFIED BY AN ISA.
- 11B-812.8.6 FINISH AND SIZE
IDENTIFICATION SIGNS SHALL BE REFLECTORIZED WITH A MINIMUM AREA OF 70 SQUARE INCHES (45 161 MM2).
- 11B-812.8.7 LOCATION
REQUIRED IDENTIFICATION SIGNS SHALL BE VISIBLE FROM THE EVCS IT SERVES. SIGNS SHALL BE PERMANENTLY POSTED EITHER IMMEDIATELY ADJACENT TO THE VEHICLE SPACE OR WITHIN THE PROJECTED VEHICLE SPACE WIDTH AT THE HEAD END OF THE VEHICLE SPACE. SIGNS IDENTIFYING VAN ACCESSIBLE VEHICLE SPACES SHALL CONTAIN THE DESIGNATION "VAN ACCESSIBLE." SIGNS SHALL BE 60 INCHES (1525 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN. SIGNS LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL BE 80 INCHES (2032 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN. SIGNS MAY ALSO BE PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE VEHICLE SPACE.
- 11B-812.9 SURFACE MARKING
EVCS VEHICLE SPACES SHALL PROVIDE SURFACE MARKING STATING "EV CHARGING ONLY" IN LETTERS 12 INCHES (305 MM) HIGH MINIMUM. THE CENTERLINE OF THE TEXT SHALL BE A MAXIMUM OF 6 INCHES (152 MM) FROM THE CENTERLINE OF THE VEHICLE SPACE AND ITS LOWER CORNER AT OR LOWER SIDE ALIGNED WITH THE END OF THE PARKING SPACE LENGTH.
- 11B-812.10 ELECTRIC VEHICLE CHARGERS
11B-812.10.1 GENERAL
EV CHARGERS SHALL COMPLY WITH SECTION 11B-812.10.
- 11B-812.10.2 OPERABLE PARTS
OPERABLE PARTS AND CHARGING CORD STORAGE SHALL COMPLY WITH SECTION 11B-309.
- 11B-812.10.3 POINT-OF-SALE DEVICES
WHERE PROVIDED, POINT-OF-SALE DEVICES SHALL COMPLY WITH SECTIONS 11B-707.2, 11B-707.3, 11B-707.7.2, AND 11B-707.9.
- 11B-812.10.4 LOCATION
EV CHARGERS SHALL BE ADJACENT TO, AND WITHIN THE PROJECTED WIDTH OF, THE VEHICLE SPACE BEING SERVED.



15B SIDE ELEVATION

SCALE: 3/16" = 1'-0"



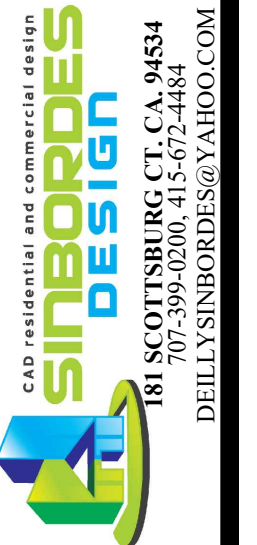
15C SECTION

SCALE: 3/16" = 1'-0"

SHEET TITLE:
TYPICAL CARPORT
DETAILS

APPROVED BY:	DE	DATE:	04-28-2025
DRAWN BY:	Deilly E	CHECKED BY:	SM
IN CHARGE:	Deilly E	REV.	REV.

PROPOSED APARTMENT BUILDING
FOR: MAGDALENO MAGANA
2834 EL PORTAL DR, SAN PABLO, CA 94806
510-610-0992

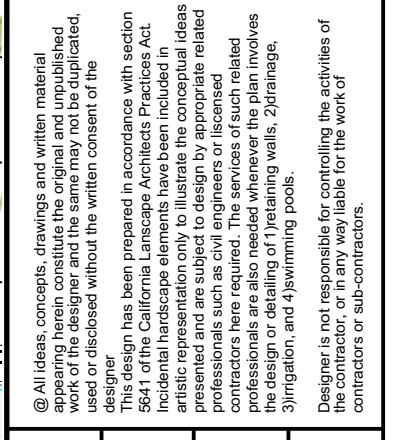


PROJECT NO.
09-266
SHEET 1 OF 14

A-1.2



KEY PLAN



Revision	Date	Designed By	Drawn By	Reviewed By	Submitted By
	05/11/2025	A.F.	A.F.	A.F.	A.F.

LANDSCAPE DESIGN
 78 Avenida Drive, Berkeley CA 94708
 phone: 510 845 4129, fax: 510 845 4115
 E-mail: @gallanlandscape.com, web: www.gallanlandscape.com

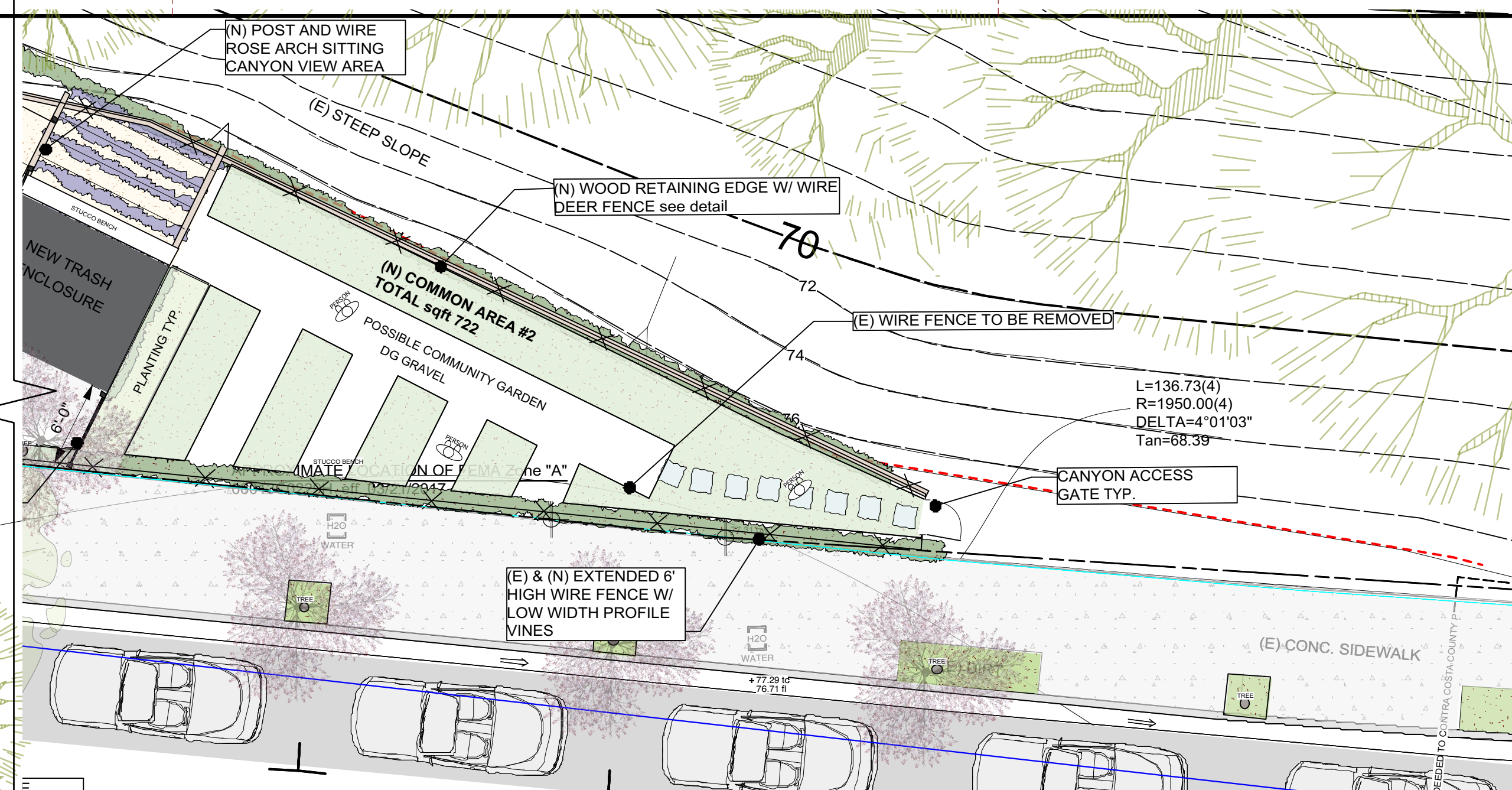
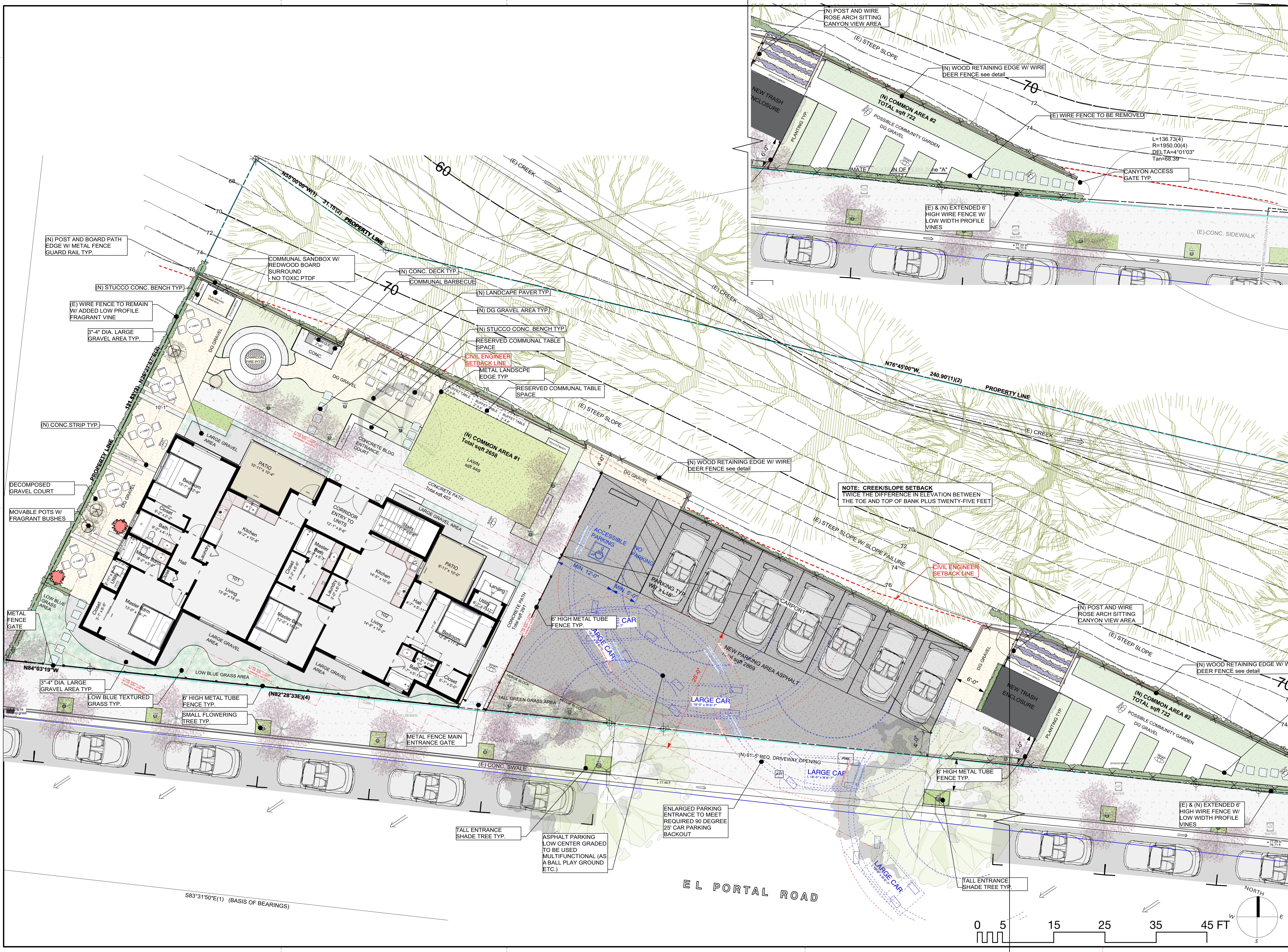
MAGDALENO MAGANA
 2834 EL PORTAL DR,
 SAN PABLO, CA 94806

SCHEMATIC REV#3.1
 LANDSCAPE PLAN W/ CONCEPT TREES

Scale: 1/8" = 1'-0"

Drawing No. **L1.0SD-2**

of



KEY PLAN

L=136.73(4)
R=1950.00(4)
DELTA=4°01'03\"
Tan=88.39

Revision	Date	Designed By	Drawn By	Reviewed By	Submitted By
	05/11/2025	A.F.	A.F.	A.F.	A.F.

LANDSCAPE DESIGN

78 Avenida Drive, Berkeley CA 94708
phone: 510 845 4129, fax 510 845 4115
E-mail: @gallandlandscape.com, web: www.gallandlandscape.com

MAGDALENO MAGANA

2834 EL PORTAL DR,
SAN PABLO, CA 94806

SCHEMATIC REV#3.1
LANDSCAPE PLAN W/ TRAFFIC CIRCULATION

Scale: 1/8" = 1'-0"

Drawing No. **L1.0SD-3**

of

S83°31'50"E(1) (BASIS OF BEARINGS)

EL PORTAL ROAD



NOTE: CREEK/SLOPE SETBACK
TWICE THE DIFFERENCE IN ELEVATION BETWEEN THE TOE AND TOP OF BANK PLUS TWENTY-FIVE FEET

CIVIL ENGINEER SETBACK LINE

CIVIL ENGINEER SETBACK LINE

6" HIGH METAL TUBE FENCE TYP.

(E) & (N) EXTENDED 6" HIGH WIRE FENCE W/ LOW WIDTH PROFILE VINES

ENLARGED PARKING ENTRANCE TO MEET REQUIRED 90 DEGREE 25' CAR PARKING BACKOUT

TALL ENTRANCE SHADE TREE TYP.

ASPHALT PARKING LOW CENTER GRADED TO BE USED MULTIFUNCTIONAL (AS A BALL PLAY GROUND ETC.)

(N) POST AND BOARD PATH EDGE W/ METAL FENCE GUARD RAIL TYP.

(E) WIRE FENCE TO REMAIN W/ ADDED LOW PROFILE FRAGRANT VINE

3"-4" DIA. LARGE GRAVEL AREA TYP.

(N) CONC. STRIP TYP.

DECOMPOSED GRAVEL COURT

MOVABLE POTS W/ FRAGRANT BUSHES

METAL FENCE GATE

3"-4" DIA. LARGE GRAVEL AREA TYP.

LOW BLUE TEXTURED GRASS TYP.

6" HIGH METAL TUBE FENCE TYP.

SMALL FLOWERING TREE TYP.

METAL FENCE MAIN ENTRANCE GATE

(E) CONC. SWALE

(N) 61'-5" REQ. DRIVEWAY OPENING

6" HIGH METAL TUBE FENCE TYP.

TALL ENTRANCE SHADE TREE TYP.

(N) POST AND WIRE ROSE ARCH SITTING CANYON VIEW AREA

(N) WOOD RETAINING EDGE W/ WIRE DEER FENCE see detail

(E) STEEP SLOPE

(E) STEEP SLOPE W/ SLOPE FAILURE

(E) STEEP SLOPE

(E) STEEP SLOPE

(E) STEEP SLOPE

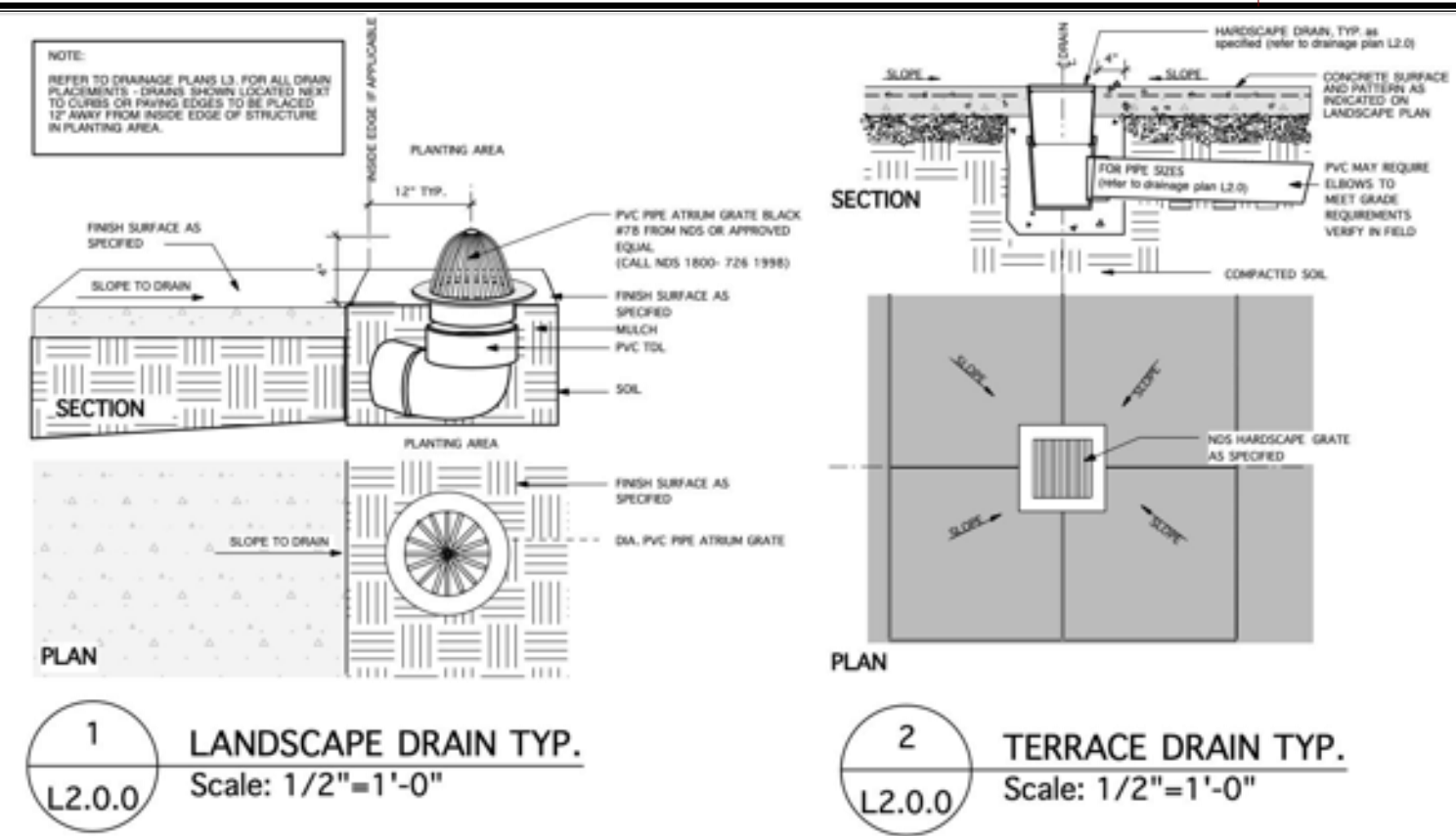
(E) STEEP SLOPE

(E) STEEP SLOPE

(E) STEEP SLOPE

(E) STEEP SLOPE

(E) STEEP SLOPE



NOTE:

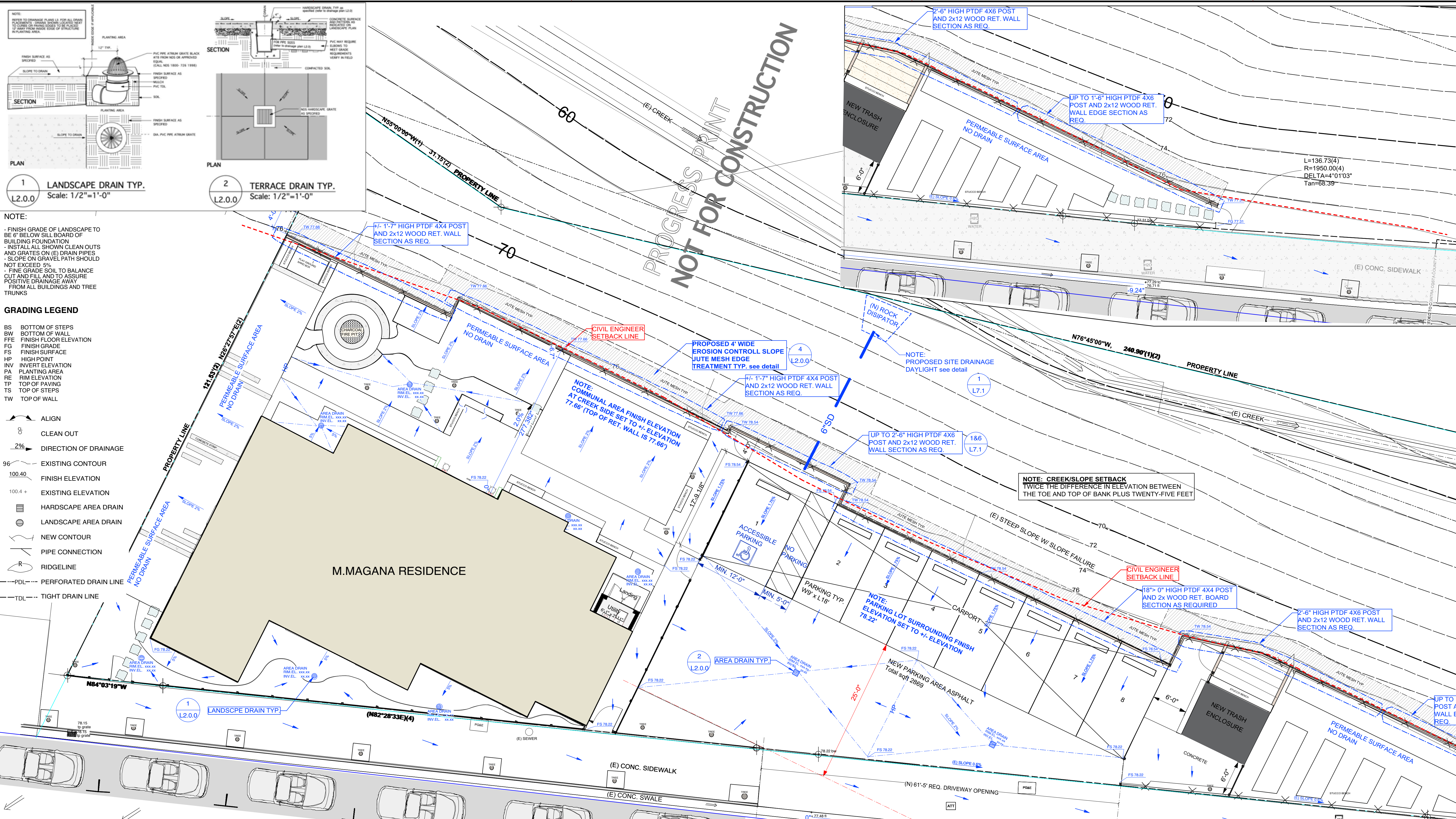
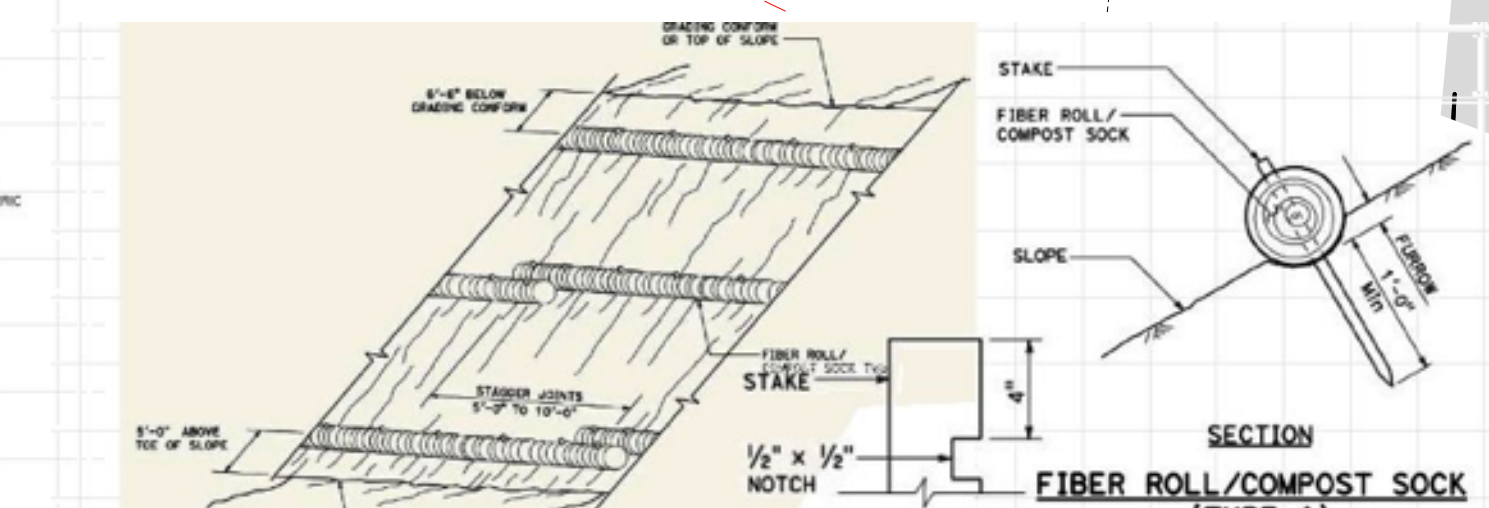
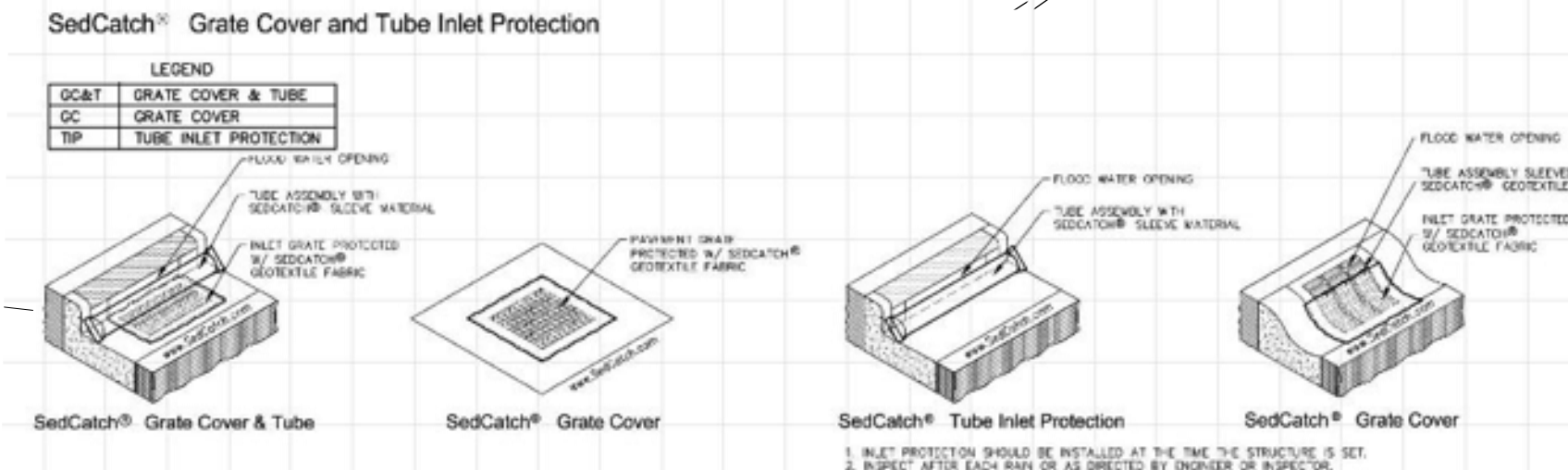
- FINISH GRADE OF LANDSCAPE TO BE 6" BELOW SILL BOARD OF BUILDING FOUNDATION
- INSTALL ALL SHOWN CLEAN OUTS AND GRATES ON (E) DRAIN PIPES
- SLOPE ON GRAVEL PATH SHOULD NOT EXCEED 5%
- FINE GRADE SOIL TO BALANCE CUT AND FILL AND TO ASSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND TREE TRUNKS

GRADING LEGEND

BS	BOTTOM OF STEPS
BW	BOTTOM OF WALL
FE	FINISH FLOOR ELEVATION
FG	FINISH GRADE
FS	FINISH SURFACE
HP	HIGH POINT
INV	INVERT ELEVATION
PA	PLANTING AREA
RE	RIM ELEVATION
TP	TOP OF PAVING
TS	TOP OF STEPS
TW	TOP OF WALL

- ALIGN
- CLEAN OUT
- 2% DIRECTION OF DRAINAGE
- 96 EXISTING CONTOUR
- 100.40 FINISH ELEVATION
- 100.4+ EXISTING ELEVATION
- HARDSCAPE AREA DRAIN
- LANDSCAPE AREA DRAIN
- NEW CONTOUR
- PIPE CONNECTION
- RIDGELINE
- PERFORATED DRAIN LINE
- TIGHT DRAIN LINE

- EROSION CONTROL NOTES**
- Erosion control measures for wind, water, material stockpiles, and tracking shall be implemented on all projects at all times and shall include source control, including protection of stockpiles, protection of slopes, protection of all disturbed areas, protection of accesses, and perimeter containment measures. Erosion control shall be placed prior to the commencement of grading and site disturbance activities unless the Public Works Department determines temporary measures to be unnecessary based upon location, site characteristics or time of year. The intent of erosion control measures shall be to keep all generated sediments from entering a swale, drainage way, watercourse, atmosphere, or migrate onto adjacent properties or onto the public right-of-way.
 - Site inspections and appropriate maintenance of all erosion control measures/devices shall be conducted and documented at all times during construction and especially prior to, during, and after rain events.
 - The developer shall be responsible for the placement and maintenance of all erosion control measures/devices as specified by the approved plan until such time that the project is accepted as complete by the Public Works Department or until released from the Conditions of Approval of their General Permit. Erosion control measures/devices may be relocated, deleted or additional measures/devices may be required depending on the actual conditions encountered during construction. Additional erosion control measures/devices shall be placed at the discretion of the Engineer of Work.
 - Erosion control devices shall be the first order of work and shall be in place at all times during construction. Additional measures/devices shall be available during the rainy season (between October 15 and April 15) or anytime when the rain probability exceeds 30%. These measures/devices shall be available, installed, and/or applied after each area is graded and no later than five (5) working days after completion of each area.
 - The Contractor, Developer, and Engineer of Work shall be responsible to review the project site prior to October 15 (rainy season) and to coordinate an implementation plan for wet weather erosion control devices. A locally based standby crew for emergency work shall be available at all times during the rainy season (October 15 through April 15). Necessary materials shall be available and stock piled at convenient locations to facilitate rapid construction or maintenance of temporary devices when rain is imminent.
 - In the event of a failure, the developer and/or his representative shall be responsible for cleanup and all associated costs or damage. In the event that damage occurs within the right-of-way and the County is required to perform cleanup, the owner shall be responsible for County reimbursement of all associated costs or damage.
 - In the event of failure and/or lack of performance by the owner and/or contractor to correct erosion control related problems the Public Works Department may revoke all active permits or issue a stop work order.
 - Permanent erosion control shall be placed and established with 90% coverage on all disturbed surfaces other than paved or gravel surfaces, prior to final inspection. Permanent erosion control shall be fully established prior to final acceptance. Temporary erosion control measures shall remain in place until permanent measures are established.



KEY PLAN

Revision	Date	Designed By	Drawn By	Reviewed By	Submitted By
	05/11/2025	A.F.	A.F.	A.F.	A.F.

Project ID	L.00x
CAD File Name	L.00x
Plot Date	05/11/2025

LANDSCAPE DESIGN
78 Avenida Drive, Berkeley CA 94708
phone: 510 845 4129, fax: 510 845 4115
E-mail: a@gallantlandscape.com, web: www.gallantlandscape.com

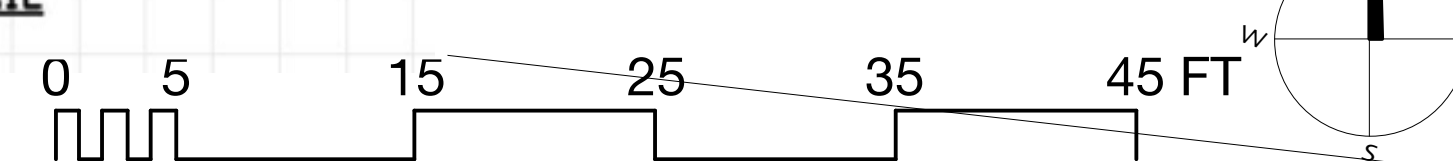
MAGDALENO MAGANA
2834 EL PORTAL DR.,
SAN PABLO, CA 94806

DRAIN. & GRAD. REV#3.1
CONCEPT PROGRESS

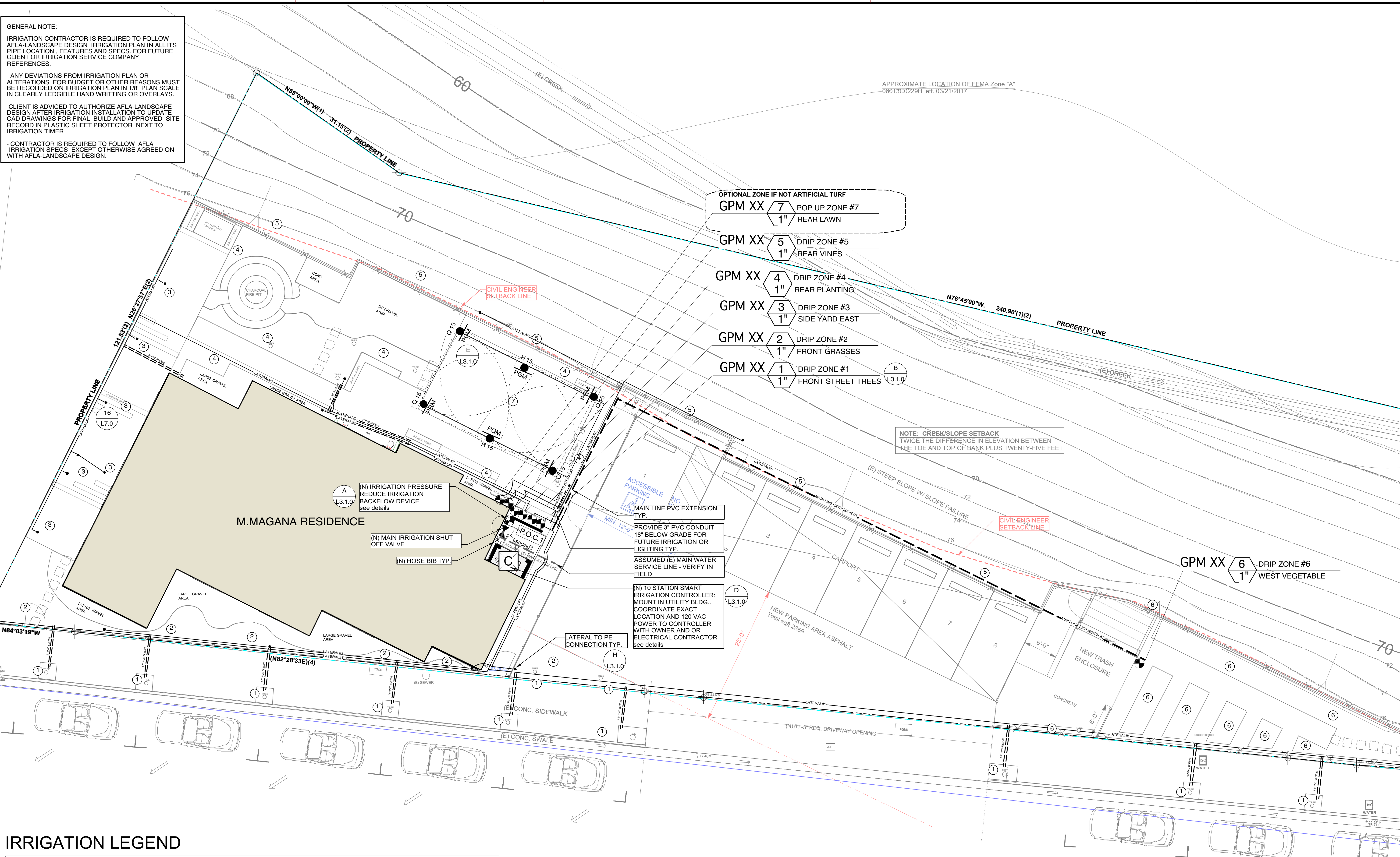
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Drawing No. **L2.0.0**

of



GENERAL NOTE:
 IRRIGATION CONTRACTOR IS REQUIRED TO FOLLOW AFLA-LANDSCAPE DESIGN IRRIGATION PLAN IN ALL ITS PIPE LOCATION, FEATURES AND SPECS. FOR FUTURE CLIENT OR IRRIGATION SERVICE COMPANY REFERENCES.
 ANY DEVIATIONS FROM IRRIGATION PLAN OR ALTERATIONS FOR BUDGET OR OTHER REASONS MUST BE RECORDED ON IRRIGATION PLAN IN 1/8" PLAN SCALE IN CLEARLY LEDGIBLE HAND WRITING OR OVERLAYS.
 CLIENT IS ADVISED TO AUTHORIZE AFLA-LANDSCAPE DESIGN AFTER IRRIGATION INSTALLATION TO UPDATE CAD DRAWINGS FOR FINAL BUILD AND APPROVED SITE RECORD IN PLASTIC SHEET PROTECTOR NEXT TO IRRIGATION TIMER.
 CONTRACTOR IS REQUIRED TO FOLLOW AFLA IRRIGATION SPECS EXCEPT OTHERWISE AGREED ON WITH AFLA-LANDSCAPE DESIGN.



- OPTIONAL ZONE IF NOT ARTIFICIAL TURF
- GPM XX 7 POP UP ZONE #7
1" REAR LAWN
 - GPM XX 5 DRIP ZONE #5
1" REAR VINES
 - GPM XX 4 DRIP ZONE #4
1" REAR PLANTING
 - GPM XX 3 DRIP ZONE #3
1" SIDE YARD EAST
 - GPM XX 2 DRIP ZONE #2
1" FRONT GRASSES
 - GPM XX 1 DRIP ZONE #1
1" FRONT STREET TREES

NOTE: CREEK/SLOPE SETBACK
 TWICE THE DIFFERENCE IN ELEVATION BETWEEN THE TOE AND TOP OF BANK PLUS TWENTY-FIVE FEET

MAIN LINE PVC EXTENSION TYP.
 PROVIDE 3" PVC CONDUIT 18" BELOW GRADE FOR FUTURE IRRIGATION OR LIGHTING TYP.
 ASSUMED (E) MAIN WATER SERVICE LINE - VERIFY IN FIELD
 (N) 10 STATION SMART IRRIGATION CONTROLLER: MOUNT IN UTILITY BLDG. COORDINATE EXACT LOCATION AND 120 VAC POWER TO CONTROLLER WITH OWNER AND OR ELECTRICAL CONTRACTOR see details

IRRIGATION LEGEND

SYM	DESCRIPTION	PSI	GPM	REMARKS
(Z)	HYDROZONE # / WATER USE (VL, L, M, or H)	-	-	(VL)-VERY LOW, (L)-LOW etc.
(T)	HUNTER HC SMART CONTROLLER	-	-	WIFI WEATHER STATION
(X)	FEBCO 825Y REDUCED PRESSURE ASSEMBLY	175 max.	-	W/ SHUT-OFF VALVES
(V)	SHUT-OFF VALVE	60-100	-	BRASS BALL VALVE
(G)	IRRITOLZ 100 SERIES CONTROL VALVE	60-100	-	W/ GLOBE VALVE
(F)	FILTER / PRESSURE REGULATOR	-	-	AS NEEDED PER MFR'S SPECS
(R)	RAINBIRD XERI-BUBBLER SPIKE *NOT SHOWN	15-30	.02-.22	AS NEEDED, SEE DETAIL
(M)	PVC SCH 40 MAINLINE	60-100	-	SEE PLAN FOR SIZING
(L)	PVC SCH 40 LATERAL PIPING	30-55	-	SIZING TBD BY CONTRACTOR
(D)	FLEXIBLE DISTRIBUTION LINE	-	-	SIZING TBD BY CONTRACTOR
(S)	PVC SCH 40 SLEEVING	-	-	UNDER ALL PAVING / WALLS

KEY PLAN

Designed By	A.F.	Date	05/11/2025
Drawn By	A.F.	Project ID	L.0xx
Reviewed By	A.F.	CAD File Name	L.0xx
Submitted By	A.F.	Plot Date	05/11/2025

AFLA LANDSCAPE DESIGN
 78 Avenida Drive, Berkeley CA 94708
 phone: 510 845 4129, fax: 510 845 4115
 E-mail: a@afllandscape.com, web: www.afllandscape.com

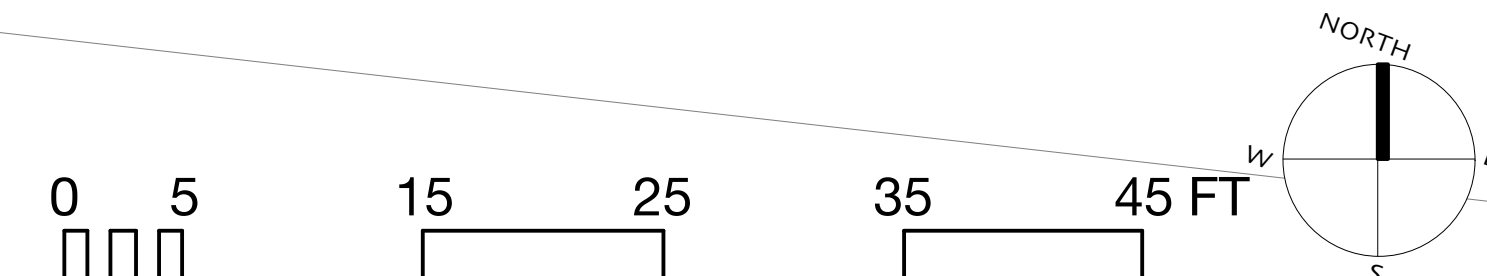
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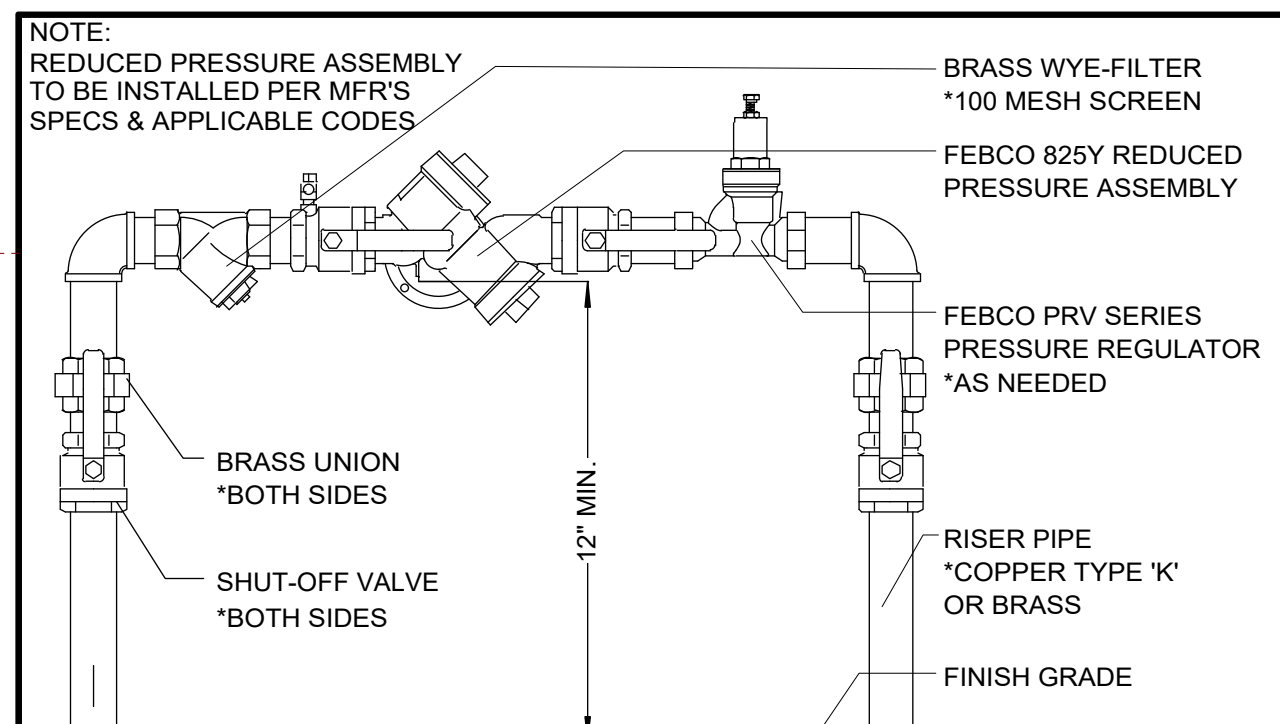
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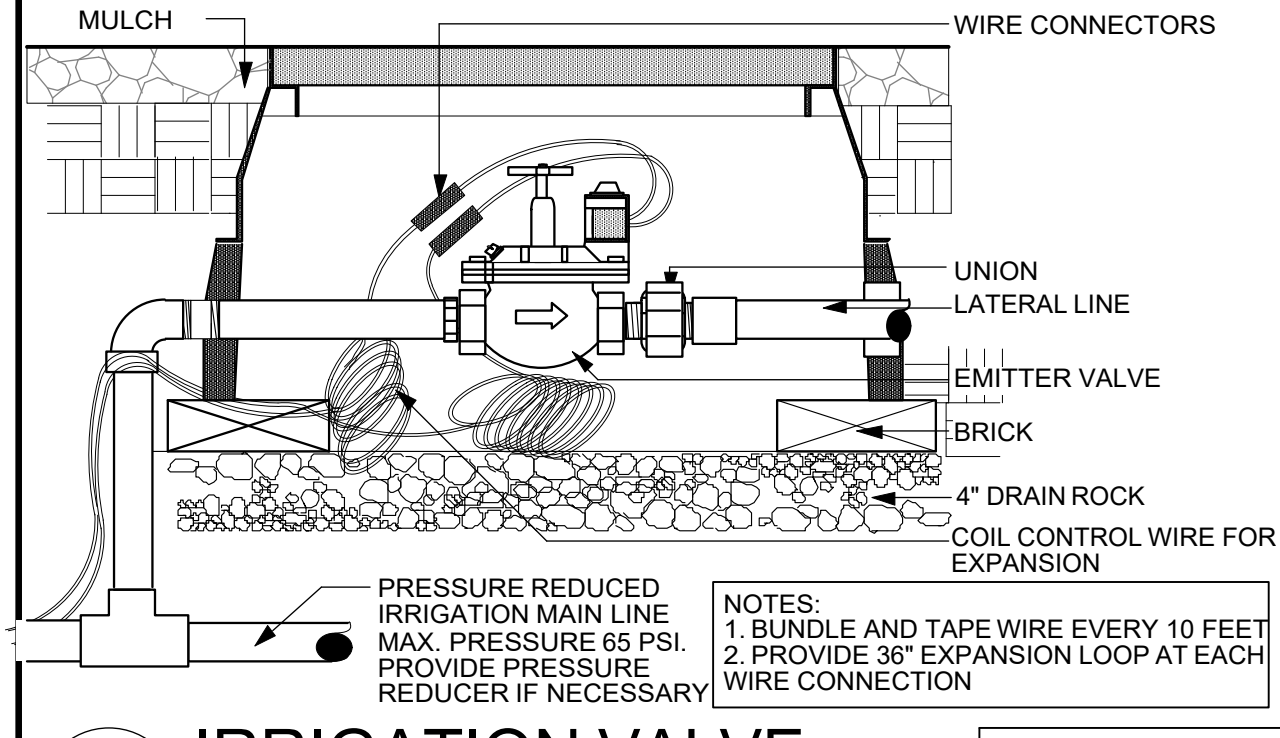
Drawing No. **L3.0.0**

of

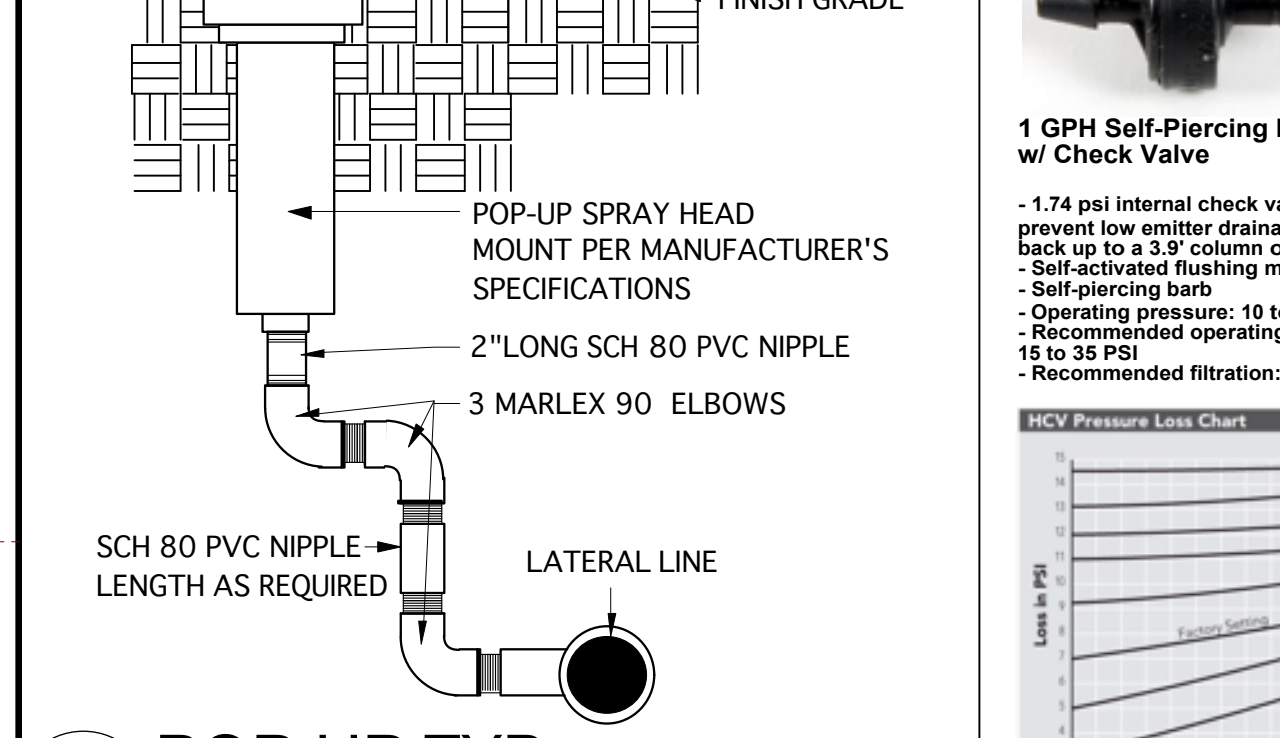




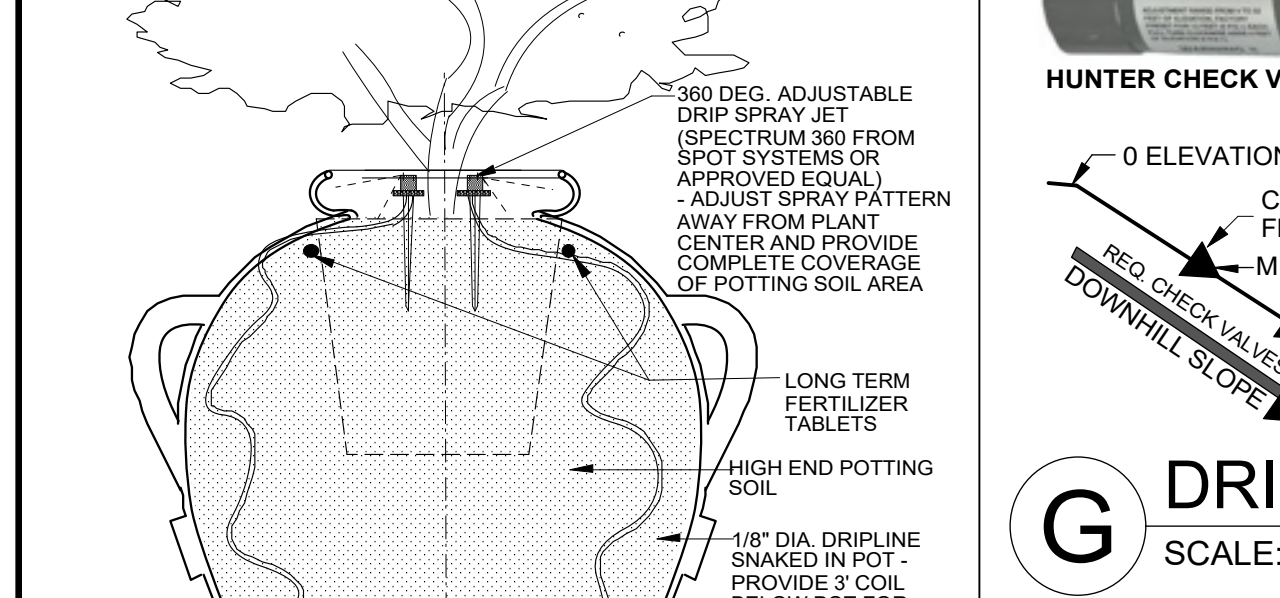
A REDUCED PRESSURE ASSEMBLY
SCALE: NTS



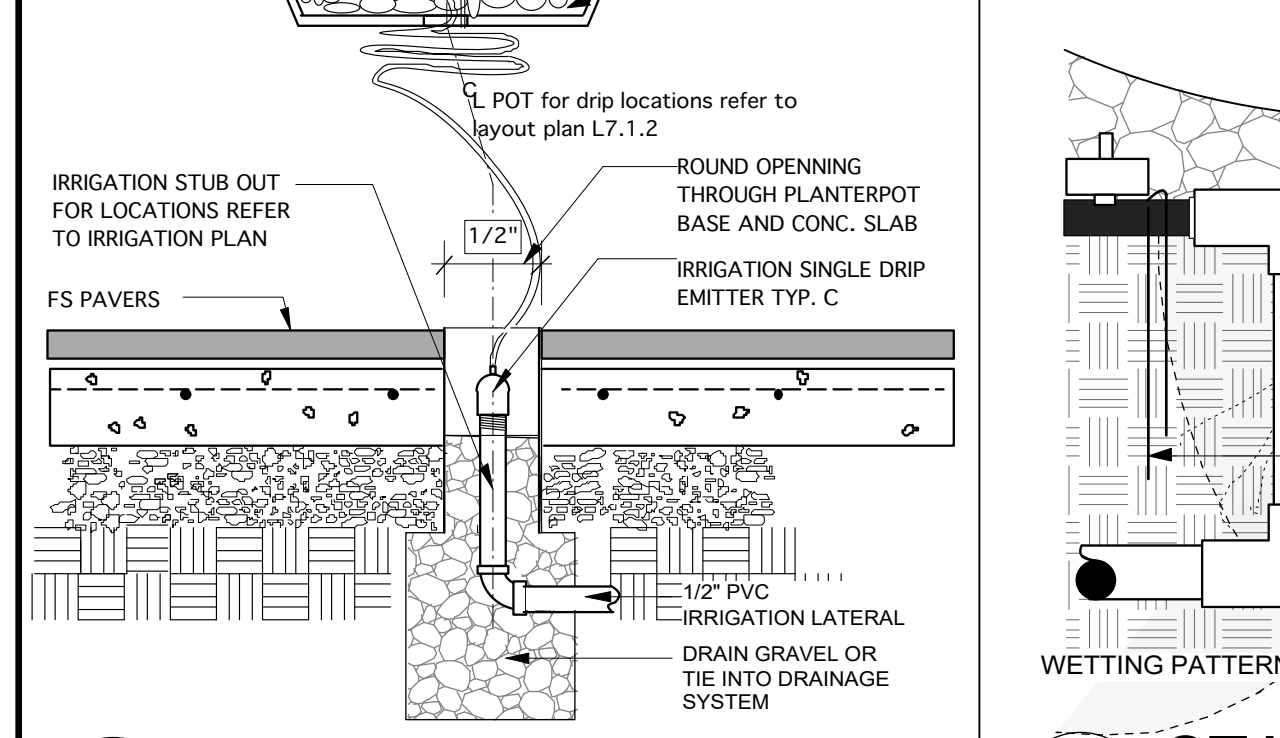
B IRRIGATION VALVE
SCALE: NTS



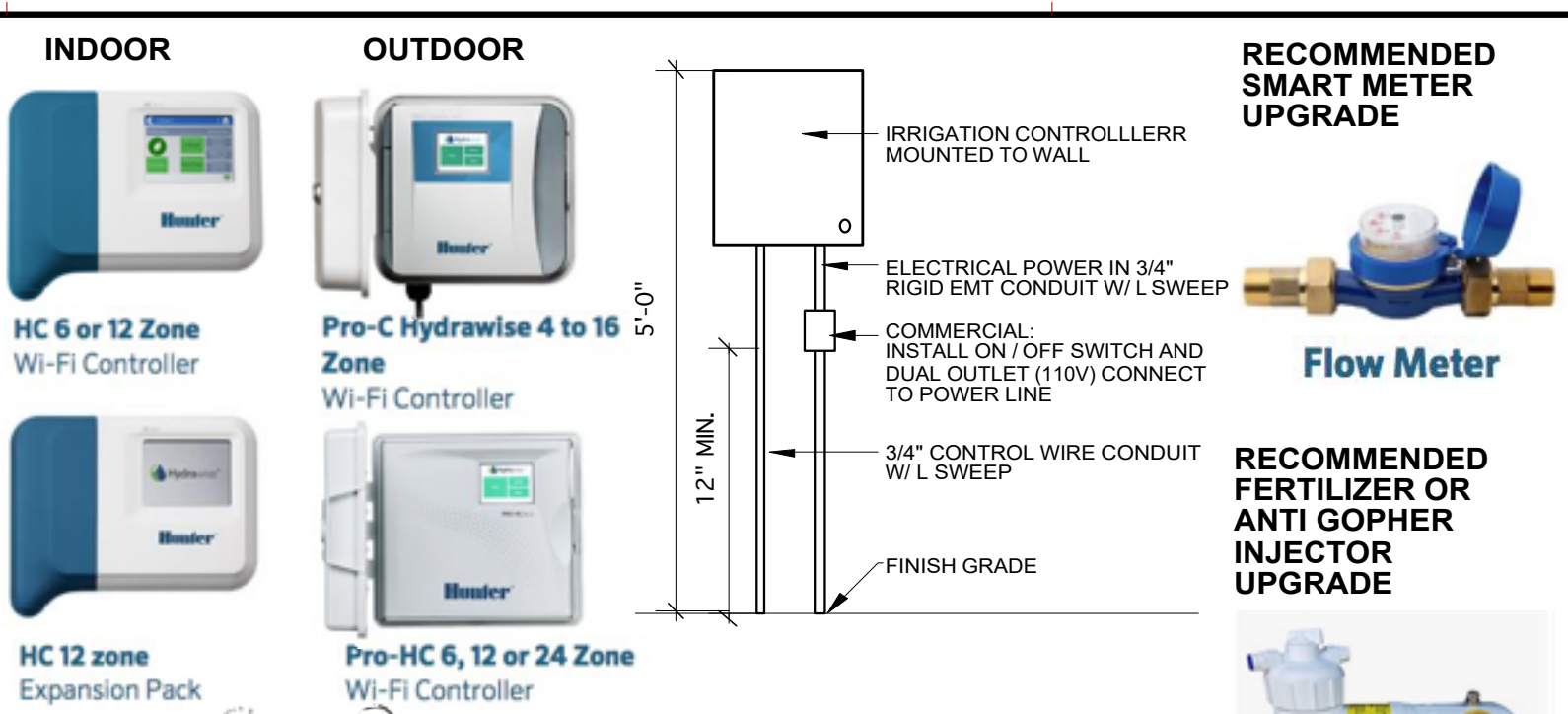
C DRIP IRRIGATION VALVE
SCALE: NTS



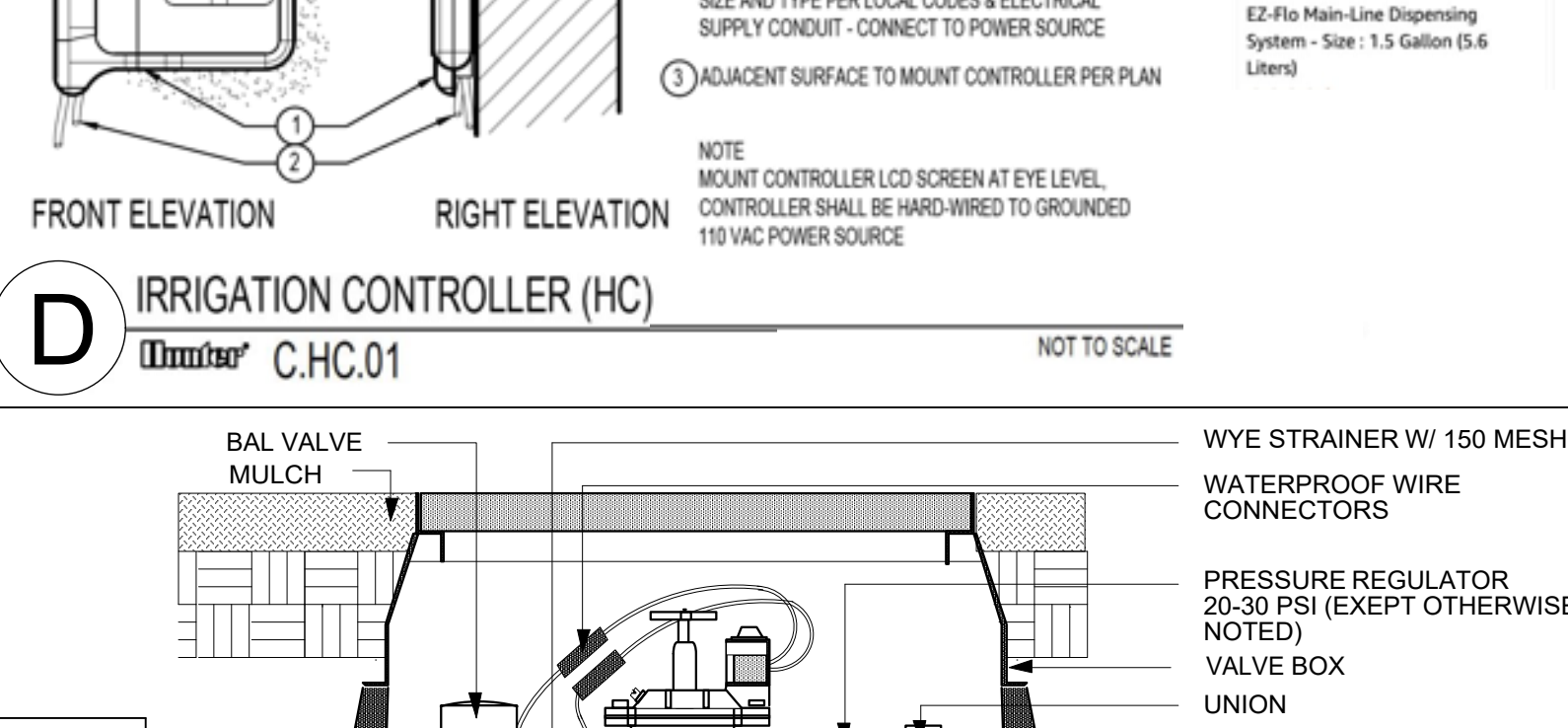
D POP UP TYP.
SCALE: NTS



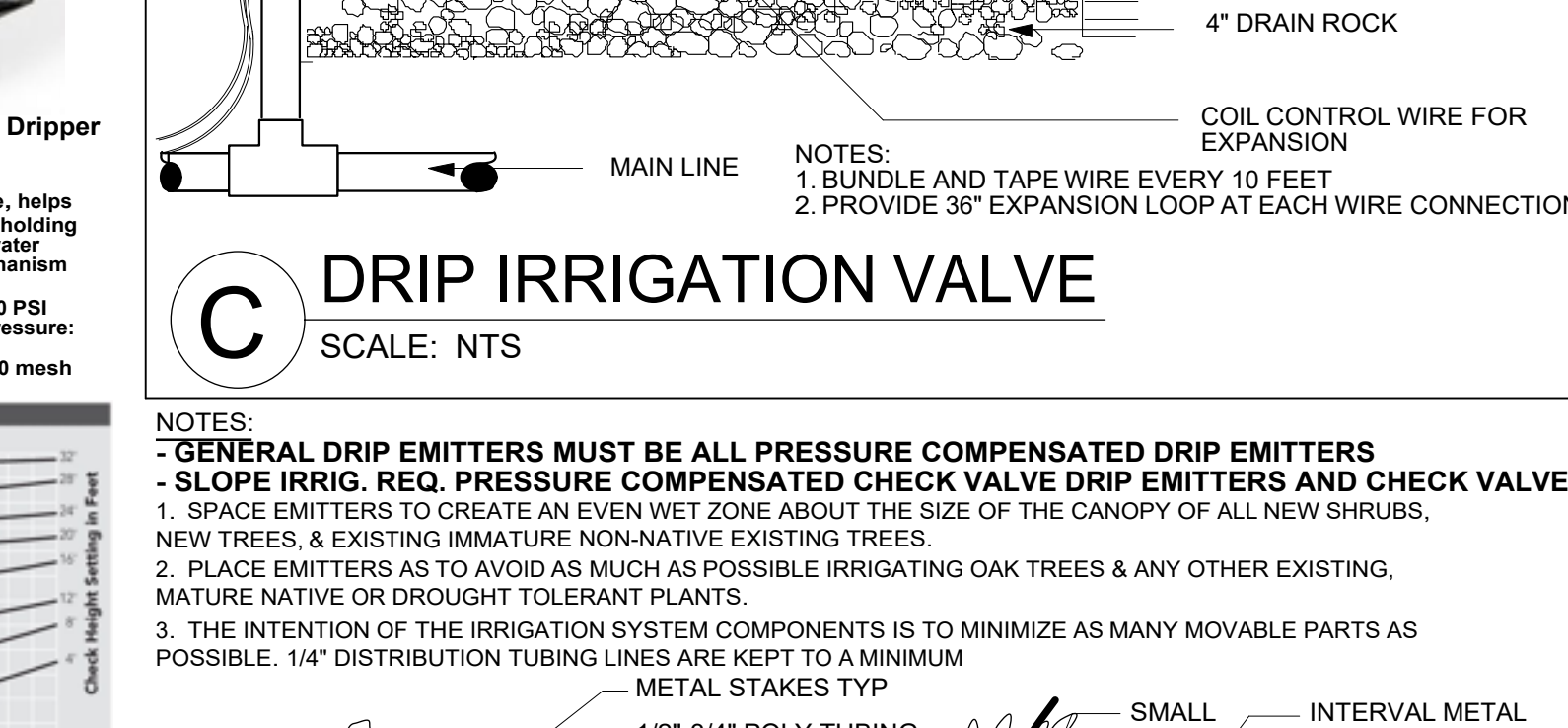
E PLANTER POT TYP.
SCALE: NTS



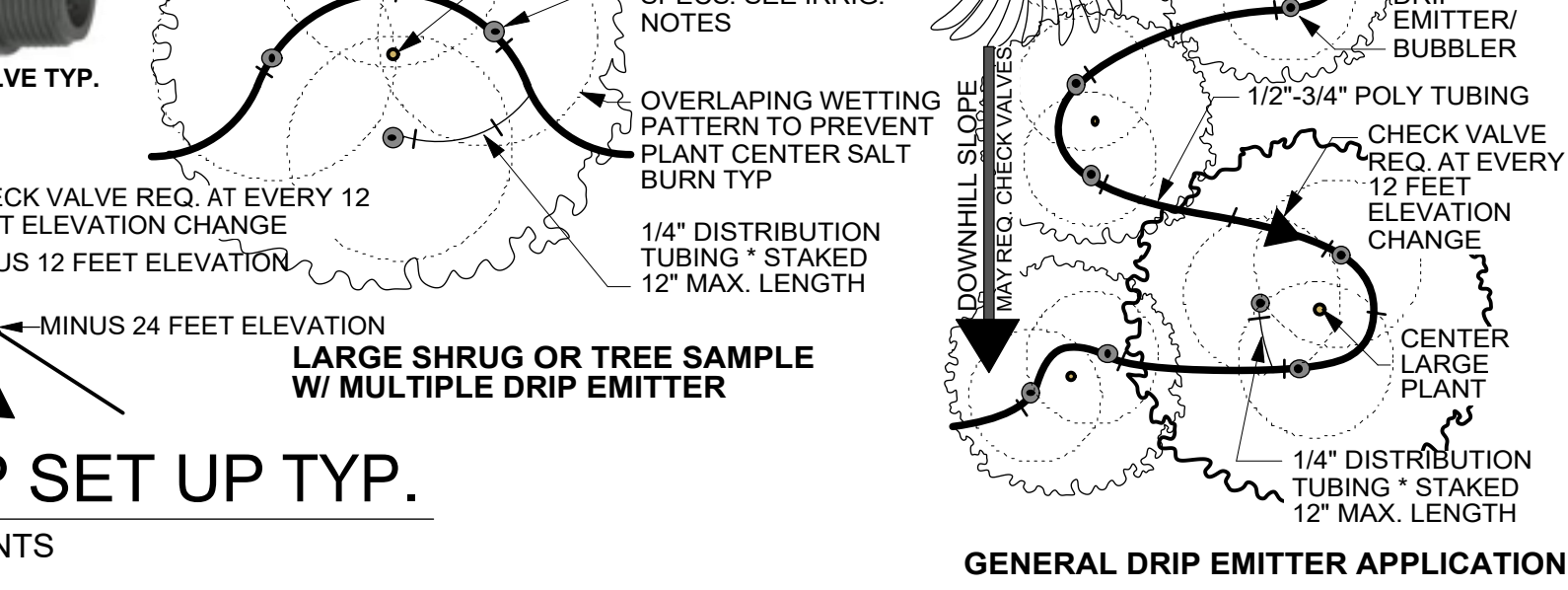
F IRRIGATION CONTROLLER (HC)
SCALE: NTS



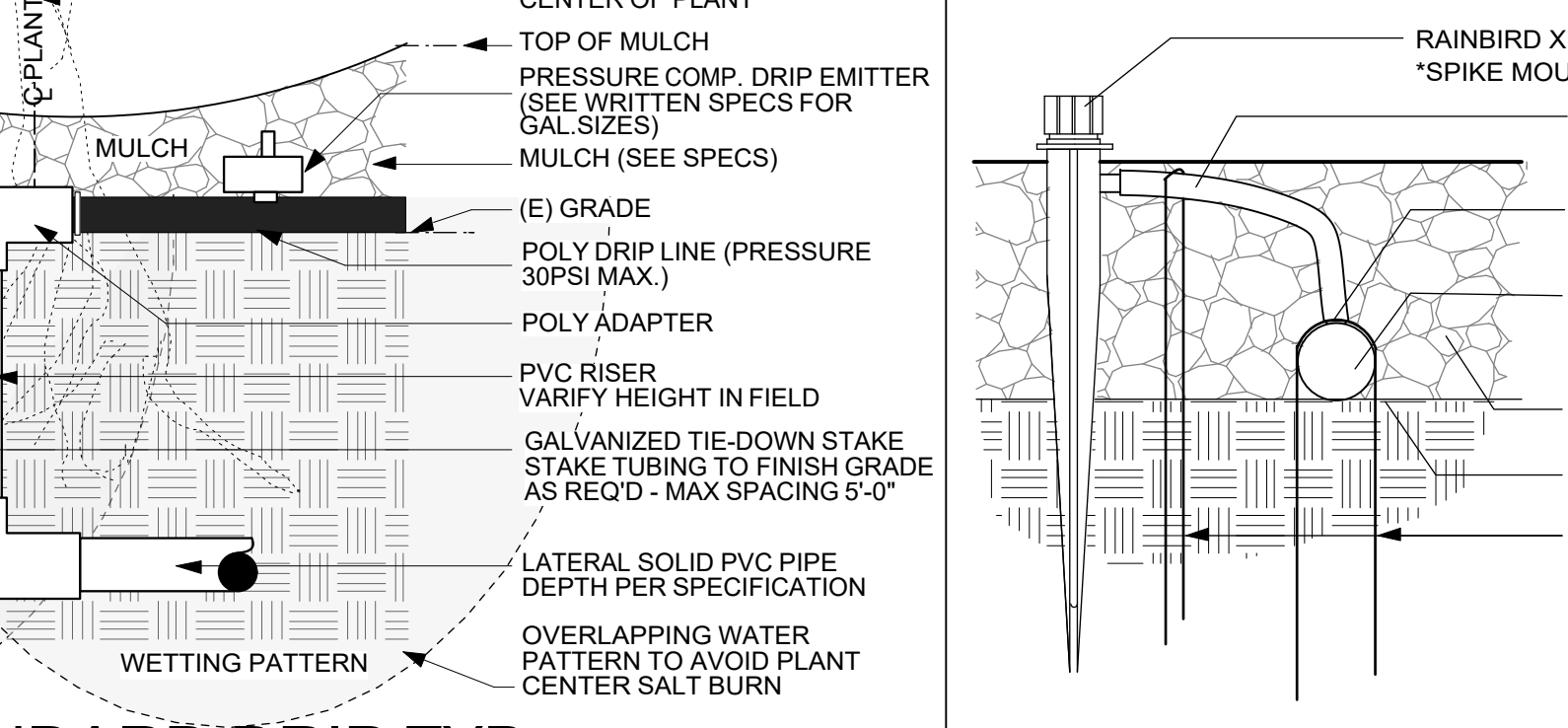
G HILLSIDE DRIP SET UP TYP.
SCALE: NTS



H GENERAL DRIP EMITTER APPLICATION
SCALE: NTS



I STANDARD DRIP TYP.
SCALE: NTS



J PE BUBBLERS (SPECIALTY APPLICATION)
SCALE: NTS

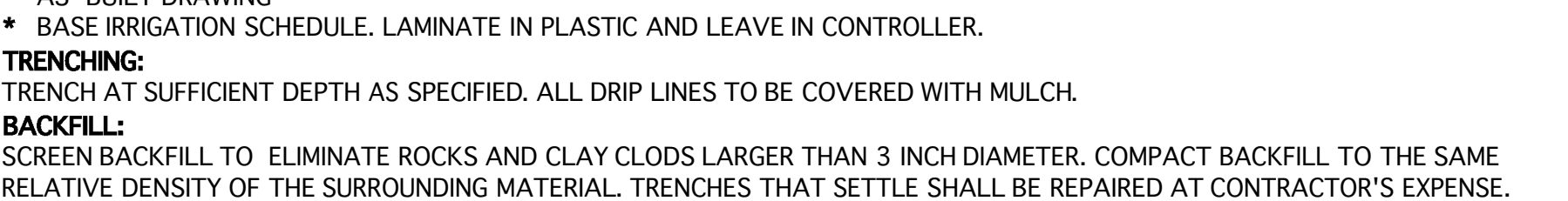
SYMBOL		ITEM	MANUFACT.	MODEL NO.	DESCRIPTION	RADIUS	GPM	PSI
6" LAWN POP UPS	TORO	SERIES	BODY W/MPR NOZZLES, PRESS. COMP. F/TQ/TT/H/T/Q	8"	1.01/0.76/0.70/0.50/0.30/0.24	30-40		
				10"	1.49/1.04/0.97/0.71/0.52/0.30	30-40		
				12"	2.19/1.55/1.45/1.09/0.72/0.50	30-40		
SHRUB SPRAY	TORO	SERIES	BODY W/MPR NOZZLES, PRESS. COMP. F/TQ/TT/H/T/Q	8"	1.01/0.76/0.70/0.50/0.30/0.24	30-40		
				10"	1.49/1.04/0.97/0.71/0.52/0.30	30-40		
				12"	2.19/1.55/1.45/1.09/0.72/0.50	30-40		
ROTOR POP UP 6" ON RISER	HUNTER	MP1000-3000	BODY W/MPR ADJ. NOZZLES CHECK VALVE MP1000 Series	8"-15"	0.75/X/XX /0.57/0.43/0.43/0.19	40		
				13"-21"	1.47/X/XX /1.10/0.86/0.74/0.40	40		
				22"-30"	3.64/X/XX /2.73/2.12/1.84/0.86	40		
SPECIAL PATTERN	RAIN BIRD		BUBBLER	TORO				
ADJUSTABLE SPRAYHEAD ON RISER	RAINBIRD		ADJUSTABLE POP UP ON RISER	RAINBIRD				
ADJUSTABLE POP UP ON RISER	RAINBIRD		CHECK VALVE	HUNTER	HCV SERIES			
POINT OF CONNECTION								
WATER METER (EXISTING)								
PRESSURE REGULATOR	WILKENS	90 SERIES	BRASS	PROVIDE PRESSURE REGULATOR IF NOT EXISTING. VERIFY IN FIELD				
BACKFLOW PREVENTER	WILKENS	AS SPECIFIED	BRASS	MOUNT PER LOCAL CODE OR PER PLAN AND DETAIL. SET @ 65 PSI WORKING PRESSURE.				
GATE VALVE	NIBCO	AS SPECIFIED	BRASS					
WATER FILL VALVE	HUDSON		PE	VALVE SIZE AND TYPE AS SPECIFIED ON PLAN. VALVE INSTALLATION AS SPECIFIED IN DETAIL.				
REMOTE CONTROL VALVE	SUPERIOR	950 SERIES	BRASS	VALVE SIZE AND TYPE AS SPECIFIED ON PLAN. VALVE INSTALLATION AS SPECIFIED IN DETAIL.				
QUICK COUPLER VALVE	RAIN BIRD			INSTALL AS SPECIFIED IN DETAIL.				
CONTROL-WALL MOUNT	HUNTER	see detail		HUNTER HC-IRRIGATION CONTROLLER				
HOSE BIBB	APPROVED			AS PER PLAN AND DETAIL. VERIFY IF EXISTING				
RAIN SENSOR	see detail			INSTALL IN LOCATION WHERE SPECIFIED MOUNT AT INCONSPICUOUS PLACE				
DRIP FLUSH DEVICE				INSTALL AS SHOWN ON DETAIL AT TERMINUS OF DRIP LINES TO ENABLE FLUSHING OF DRIP LINES MONTHLY DURING THE IRRIGATION SEASON				
DRIP MICRO SPRAY	PEPCO	VARI JET SHRUBBLER		AS PER PLAN AND DETAIL.				
DRIP MULTIPLE OUTLET	PEPCO	QUADRO BUBBLER		AS PER PLAN AND DETAIL.				
DRIP ZONE NUMBER				INDICATES DRIP AREA SUPPLIED BY VALVE WITH SAME NUMBER				
PVC TO POLYETHYLENE CONNECTION				SOLVENT WELD 6" LENGTH OF FLEXIBLE PVC TO LATERAL TEE. SOLVENT WELD PVC TO POLY COMPRESSION TEE OR ELL AS REQUIRED.				
MAIN LINE (PRESSURE LINE)	APPROVED	PVC SCH 80		18" MIN. COVER. SIZE PER PLAN. USE SOLVENT WELD SCH 40 FITTINGS				
LATERAL LINE (NON PRESSURE LINE)	APPROVED	PVC SCH 40		12" MIN. COVER. SIZE PER PLAN. USE SOLVENT WELD SCH 40 FITTINGS				
SLEEVE	APPROVED	PVC CLASS 200		2" DIA. PVC. COORDINATE WITH GENERAL CONTRACTOR				
DRIP SOAKER LINE	PEPCO	GREEN PEPCO 1863-0B2 QUADRA BUBBLER						
DRIP POLY TUBING	PE BLACK			2" MIN. COVER. LINE SHOWN INDICATES APPROXIMATE ALIGNMENT OF 1/2" POLYETHYLENE TUBE. WEAVE TUBE 4'-3' UP AND DOWN SLOPE TO APPROACH AS MANY PLANTS AS POSSIBLE. ATTACH MULTIPLE OUTLET EMITTERS AS REQUIRED BY PLANTING. EMITTER SHALL BE 10PM WIDE MF-1, MF-5, MF-12, MICRO FLAPPERS. RUN DISTRIBUTION TUBE A MAXIMUM OF 2' UP HILL AND 6' DOWN HILL.				

WIRING: PROVIDE DIRECT LEAD (COLORED) AND COMMON (WHITE) 24 VOLT SOLID WIRE #14UL APPROVED FOR DIRECT BURIAL. PROVIDE A 3/16 INCH COIL OF WIRE AT VALVES. BUNDLE WIRES AND TAPE TO MAINLINE AT 10 FOOT INTERVALS. WHERE WIRES DO NOT PARALLEL MAINLINE INSTALL 18 INCHES BELOW GRADE. WIRES UNDER PAVEMENT SHALL BE INSTALLED IN A SLEEVE. PROVIDE 2 EXTRA WIRES (GREEN) PARALLEL TO GROUND WIRE FOR FUTURE USE. USE 3M DSV DIRECT BURY SPLICE OR APPROVED EQUAL FOR WIRE SPLICES AND CONNECTIONS. MAKE SPLICES PER MANUFACTURER'S DIRECTIONS.

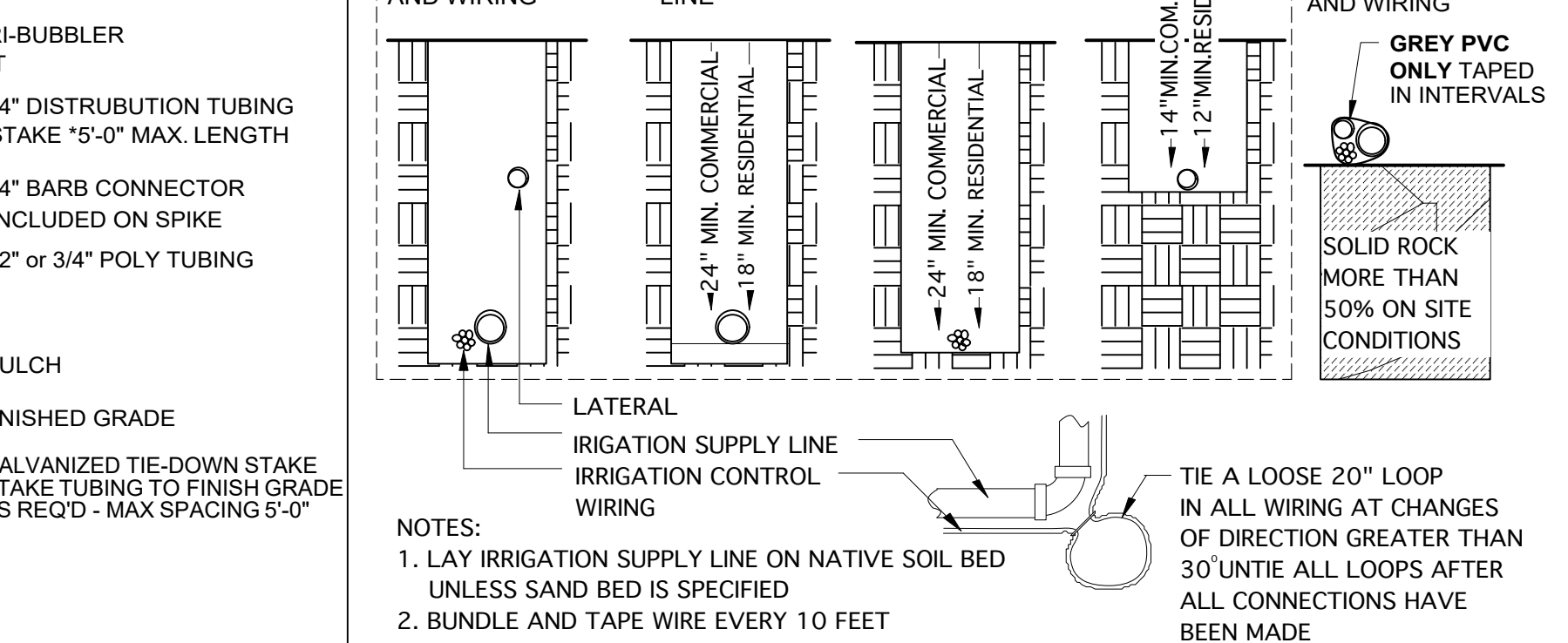
PIPES: PIPE SCHEDULE AS INDICATED ON DETAILS OR LEGEND. CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL HYDROSTATIC PIPE LAYOUT. FOLLOWING PIPE SIZES INDICATE NOT TO EXCEED MAXIMUM GPM (VELOCITY MAX. 5FEET/SEC.) AND ARE TO BE CONSIDERED.
SCHEDULE 80 PVC (MAIN COMMERCIAL): 3 GPM-1/2", 6 GPM-3/4", 11 GPM-1", 20 GPM-1 1/4", 26 GPM-1 1/2", 45 GPM-2", 65 GPM-2 1/2", 100 GPM-3", 170 GPM-4", 400 GPM-6"
SCHEDULE 40 PVC (LATERAL COMMERCIAL, MAIN RESIDENTIAL): 4 GPM-1/2", 8 GPM-3/4", 12 GPM-1", 22 GPM-1 1/4", 38 GPM-1 1/2", 50 GPM-2", 70 GPM-2 1/2", 110 GPM-3", 190 GPM-4", 450 GPM-6"
CLASS 200 PVC (LATERAL RESIDENTIAL): 6 GPM-1/2", 10 GPM-3/4", 16 GPM-1", 26 GPM-1 1/4", 35 GPM-1 1/2", 55 GPM-2", 80 GPM-2 1/2", 120 GPM-3", 200 GPM-4", 425 GPM-6"

SUBMITTALS:
 * SUBMIT 2 COPIES OF THE FOLLOWING TO THE OWNER:
 * MATERIAL LIST AND PRODUCT DATA PRIOR TO CONSTRUCTION
 * AS-BUILT DRAWING
 * BASE IRRIGATION SCHEDULE. LAMINATE IN PLASTIC AND LEAVE IN CONTROLLER.

TRENCHING: TRENCH AT SUFFICIENT DEPTH AS SPECIFIED. ALL DRIP LINES TO BE COVERED WITH MULCH.
BACKFILL: SCREEN BACKFILL TO ELIMINATE ROCKS AND CLAY CLODS LARGER THAN 3 INCH DIAMETER. COMPACT BACKFILL TO THE SAME RELATIVE DENSITY OF THE SURROUNDING MATERIAL. TRENCHES THAT SETTLE SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.



I STANDARD WHITE PVC, COPPER APPLICATION:
SCALE: NTS



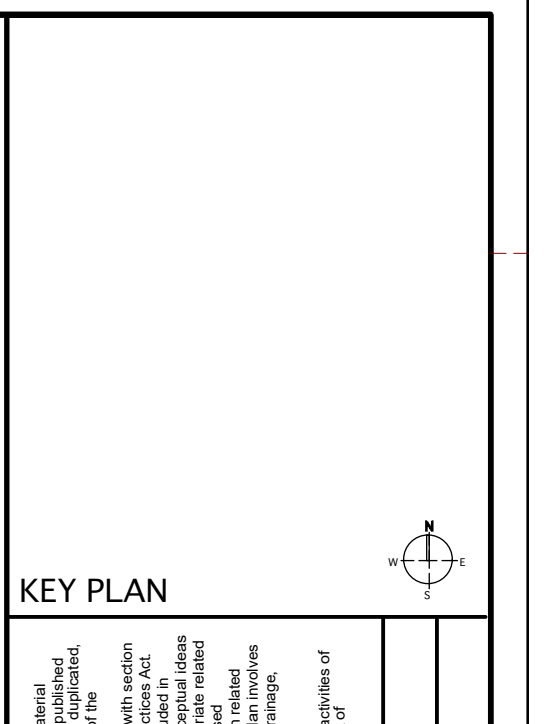
J TRENCHING TYP.
SCALE: NTS

WATER CONSERVATION IN LANDSCAPING ORDINANCE COMPLIANCE	
THESE PLANS SHOULD COMPLY WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE	

IRRIGATION NOTES
 CONTRACTOR TO COORDINATE TRENCHING FOR IRRIGATION W/ TRENCHING FOR LIGHTING REFER TO SPECIFIC PLANS - NO TRENCHING SHOULD TAKE PLACE BEFORE COORDINATION

- THE CONCEPTS ON THE IRRIGATION PLAN ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL MAKE ADJUSTMENTS AS NECESSARY BASED ON ACTUAL SITE CONDITIONS.
- ALL IRRIGATION SYSTEM COMPONENTS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. MANUFACTURER'S SPECIFICATIONS SUPERSEDE ANY SPECS ON THESE PLANS / DETAILS.
- IRRIGATION SYSTEM SHALL USE PRESSURE REGULATORS AS NEEDED TO KEEP ALL COMPONENTS WITHIN OPTIMAL PSI RANGE, PER MANUFACTURER'S SPECS.
- CONTROLLER TYPE SHALL BE A SMART CONTROLLER. RAIN SENSORS AND / OR WEATHER STATIONS ARE RECOMMENDED.
- CONTROLLER SHALL BE SET TO IRRIGATE BETWEEN THE HOURS OF 8PM AND 10AM. CONTROLLER SHALL BE SET TO IRRIGATE DEEPLY AND LESS FREQUENTLY TO ENCOURAGE DROUGHT RESISTANT ROOT GROWTH. IRRIGATION SCHEDULE TO BE DETERMINED BY AUDITOR / CONTRACTOR.
- PIPING BETWEEN THE WATER METER AND A REDUCED PRESSURE ASSEMBLY SHALL BE BRASS OR COPPER TYPE 'K'.
- THE BOTTOM OF THE REDUCED PRESSURE ASSEMBLY SHALL BE INSTALLED MIN. 12" ABOVE THE GROUND.
- A 100 MESH FILTER SHALL BE INSTALLED ON THE MAINLINE BEFORE THE REDUCED PRESSURE ASSEMBLY.
- VALVES SHALL BE HOUSED IN WEATHER-PROOF PLASTIC BOXES, WITH LOCKABLE LIDS MARKED WATER.
- CONTROL WIRE CONNECTIONS SHALL BE MADE WITH WATERPROOF PLASTIC WIRE NUTS.
- MAIN SUPPLY LINES & FITTINGS SHALL BE PVC SCH 40, SIZE AS NOTED ON PLAN, BURIED 12" - 16" DEEP.
- LATERAL SUPPLY LINES & FITTINGS SHALL BE PVC SCH 40, SIZE TO BE DETERMINED BY CONTRACTOR, BURIED 9" - 12" DEEP.
- FLEXIBLE POLY PIPE TO BE 1/2" - 3/4", DETERMINED BY CONTRACTOR. ALL 1/2" FLEXIBLE DISTRIBUTION LINES TO BE A MAXIMUM OF 5'-0" IN LENGTH & ARE TO BE STAKED.
- BUBBLERS SHALL BE SPACED TO CREATE AN EVEN WET ZONE ABOUT THE SIZE OF THE CANOPY OF ALL NEW SHRUBS, NEW TREES & EXISTING IMMATURE NON-NATIVE TREES. BUBBLERS SHALL BE PLACED TO AVOID AS MUCH AS POSSIBLE IRRIGATING OAK TREES & ANY OTHER EXISTING, MATURE NATIVE OR DROUGHT TOLERANT PLANTS.
- HOSE BIBBS SHALL BE MOUNTED ON GALVANIZED STEEL RISERS 30" ABOVE FINISHED GRADE. SECURE TO A #4 STEEL BAR DRIVEN 18" INTO SOLID GROUND.
- CHECK VALVES SHALL BE INSTALLED ON ALL DOWNHILL DRIFLINE & DISTRIBUTION LINE.
- RISER HEIGHT IN LAWN AREAS SHALL BE 4". RISER HEIGHT IN MEADOW AREAS AND OTHER LANDSCAPE AREAS SHALL BE 12". THE RISERS FOR SPRINKLERS ON SLOPES SHALL BE SET APPROXIMATELY PERPENDICULAR TO THE PLANE OF THE SLOPE.
- IF LOCATION OF A SUPPLY LINE INTERFERES WITH THE DRILLING OF THE PLANT HOLES, THE PLANT HOLES SHALL BE LOCATED AS TO CLEAR THE SUPPLY LINES.
- ALL LINES SHALL BE THOROUGHLY FLUSHED OUT PRIOR TO ATTACHMENT OF VALVES, SPRINKLERS, EMITTERS, & OTHER TERMINAL FITTINGS.
- THE CONTRACTOR SHALL MAKE FINAL ADJUSTMENTS TO THE IRRIGATION SYSTEM TO ENSURE PROPER COVERAGE AND PREVENT WATER RUN-OFF AND EXCESS SPRAY.
- ALL SPRAY AND DRIP ZONES TO BE MIN. 5'-0" AND PREFERABLY 10'-0" AWAY FROM OAK TREE TRUNKS.
- IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH LOCAL CODES AND MANUFACTURER'S DIRECTIONS. LANDSCAPE CONTRACTOR WHO SHALL OBTAIN ALL NECESSARY PERMITS AND PAY ALL REQUIRED FEES. NO SUBSTITUTION OF EQUIPMENT SHALL BE ALLOWED WITHOUT WRITTEN APPROVAL FROM OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES CAUSED BY OR DURING THE PERFORMANCE OF HIS WORK. CONTRACTOR SHALL LOCATE AND TAKE PROPER PRECAUTIONS NOT TO DAMAGE OR DISTURB UNDERGROUND IMPROVEMENTS. REPAIRS SHALL BE AT CONTRACTOR'S EXPENSE TO ORIGINAL CONDITION OR BETTER.
- PROVIDE OWNER WITH A COMPLETELY OPERATING AND ADJUSTED IRRIGATION SYSTEM. THE INTENTION OF THIS IRRIGATION SYSTEM IS TO PROVIDE A MINIMUM AND EQUAL WATER DISTRIBUTION FOR A HEALTHY PLANT GROWTH.
- SPRAY HEAD ADJUSTMENTS SHOULD RESULT IN A HEAD TO HEAD COVERAGE W/ MINIMUM OVERSPRAY ONTO ADJACENT STRUCTURES - NO OVERSPRAY AGAINST BUILDING. OVERSPRAY AGAINST TREES TO BE AVOIDED, NO SPRAY AGAINST FRUIT TREES.
- IN CASE OF AN EXTENSION TO AN EXISTING IRRIGATION SYSTEM CONTRACTOR SHALL VERIFY (E) CONDITIONS OF IRRIGATION VALVES, TIMER (PREFERRED WITH VOLATILE MEMORY), RAIN SENSOR AND BACKFLOW PREVENTION IN FIELD. A PROFESSIONAL IRRIGATION SYSTEM MUST PROVIDE THE CLIENT WITH ABOVE MENTIONED FEATURES.
- CONTRACTOR TO ADVISE CLIENT HOW TO UPGRADE (E) IRRIGATION SYSTEM. SYSTEM UPGRADE MAY ALSO INCLUDE AN INDEPENDENT MAIN LINE FROM THE WATER METER TO FEED (N) VALVES AND OR (E) VALVES. ALL (E) GALVANIZED PIPES IN WORK AREA TO BE REPLACED WITH PVC PIPES. ALL PIPES ABOVE GROUND TO BE PVC GREY.

ALL POP UPS TO BE CONNECTED TO LATERAL PIPE WITH 3 MAVERICK L'S
WARRANTY: CONTRACTOR SHALL WARRANT THE IRRIGATION SYSTEM TO BE FREE OF DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF 1 YEAR FROM DATE OF FINAL ACCEPTANCE. REPAIRS SHALL BE MADE AT CONTRACTOR'S EXPENSE.
 VERIFY FIELD CONDITIONS PRIOR TO CONSTRUCTION OF ANY AREA. NOTIFY OWNER IN WRITING OF DISCREPANCIES BETWEEN PLAN AND ACTUAL FIELD DIMENSIONS.



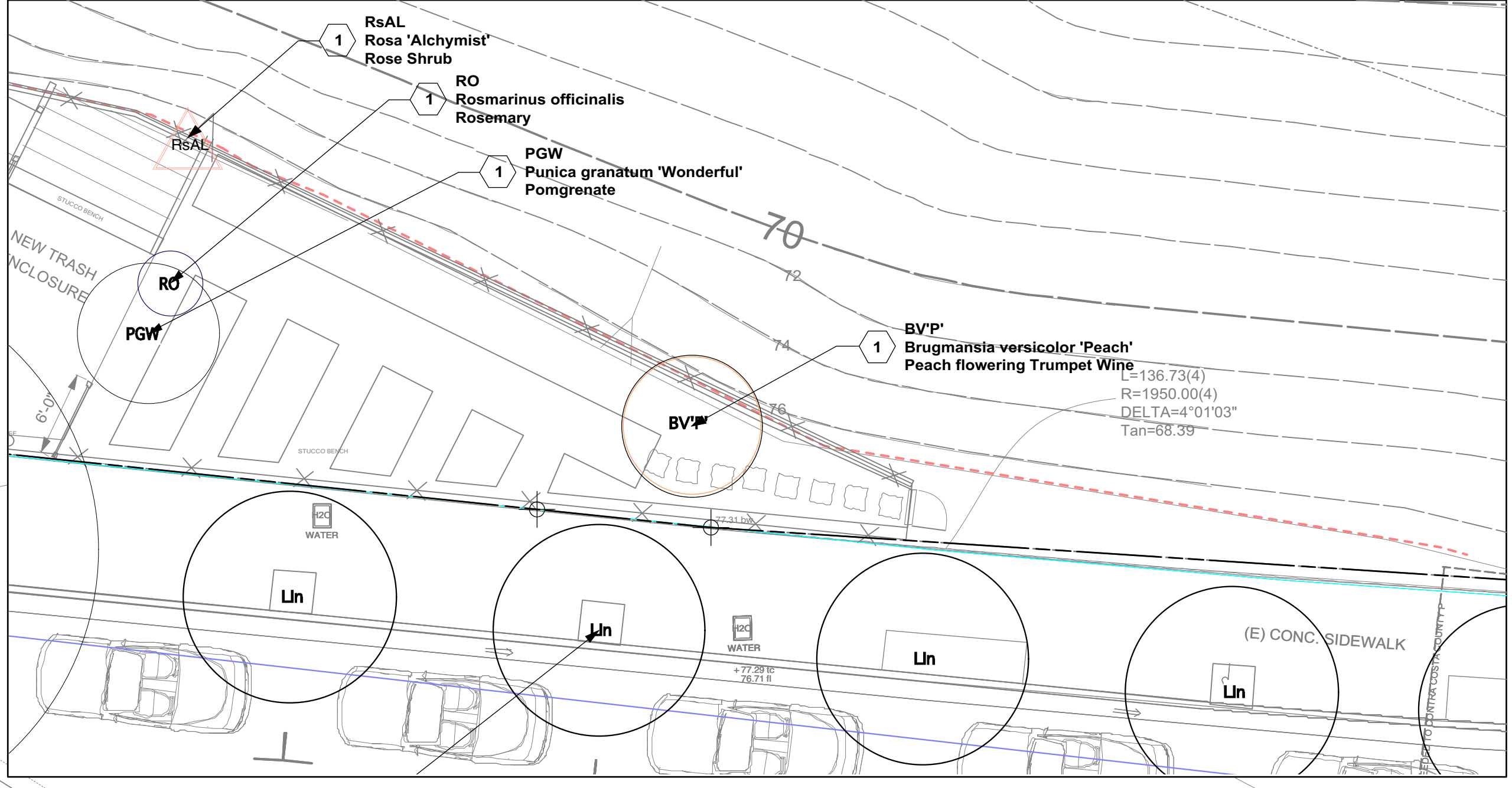
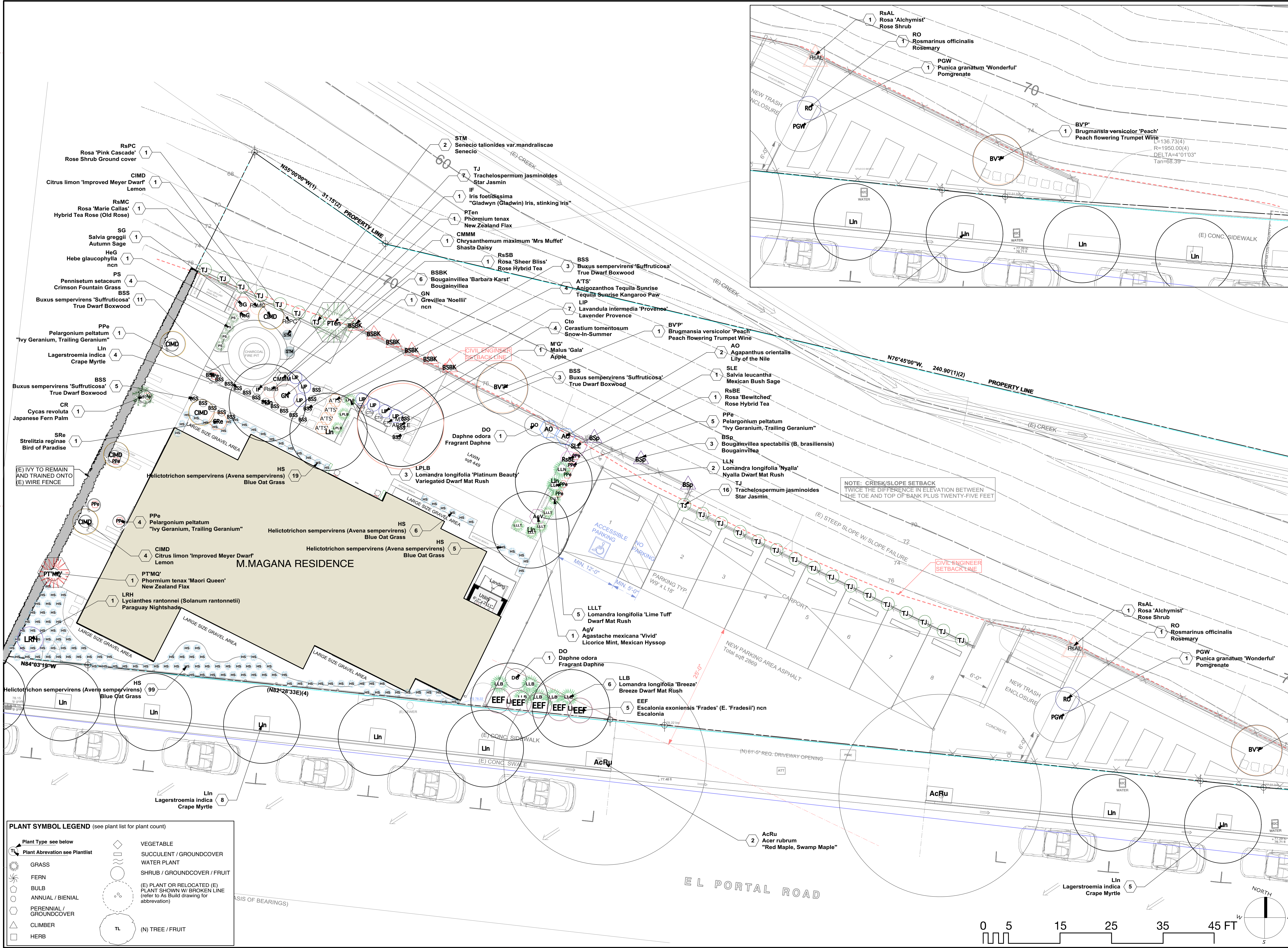
K KEY PLAN
SCALE: 1/8" = 1'-0"

MAGDALENO MAGANA
 2834 EL PORTAL DR.,
 SAN PABLO, CA 94806
 Phone: 510 845 4129, Fax: 510 845 4115
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IRRIGATION LEGEND

Project Title: **L3.1.0**
 Scale: 1/8" = 1'-0"
 Drawing No. **L3.1.0**
 of



PLANT SYMBOL LEGEND (see plant list for plant count)

Plant Type see below	VEGETABLE
Plant Abbreviation see Plantlist	SUCCULENT / GROUND COVER
GRASS	WATER PLANT
FERN	SHRUB / GROUND COVER / FRUIT
BULB	(E) PLANT OR RELOCATED (E) PLANT SHOWN W/ BROKEN LINE (refer to As Built drawing for abbreviation)
ANNUAL / BIENNIAL	(N) TREE / FRUIT
PERENNIAL / GROUND COVER	
CLIMBER	
HERB	

Revision	Date	Designed By	Drawn By	Reviewed By	Submitted By
	05/11/2025	A.F.	A.F.	A.F.	A.F.
		Project ID	CAD File Name	Plot Date	Issue Notes
		L. Oxx	L. Oxx	05/11/2025	

LANDSCAPE DESIGN

78 Avenida Drive, Berkeley CA 94708
 phone: 510 845 4129, fax: 510 845 4115
 E-mail: a@allandscapedesign.com, web: www.allandscapedesign.com

Consultant

MAGDALENO MAGANA

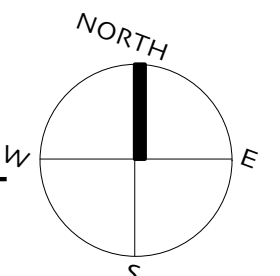
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 SAN PABLO, CA 94806

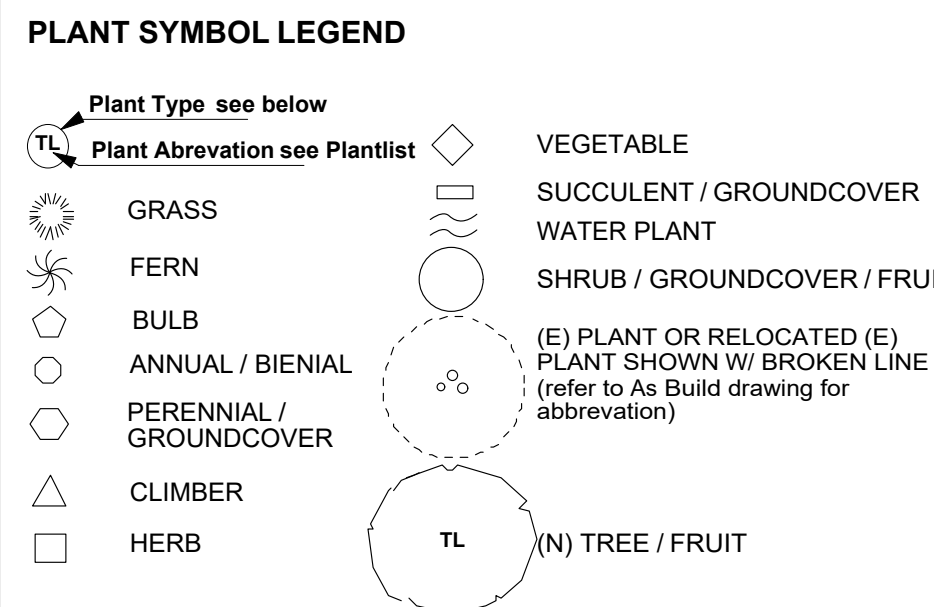
PLANTING REV#3.1

Scale: 1/8" = 1'-0"

Drawing No. **L4.0.0**

of





PLANT COUNT

Quantity	Scheduled Size
4	1 GAL
205	1Gal
22	3Gal
34	5Gal
20	15Gal

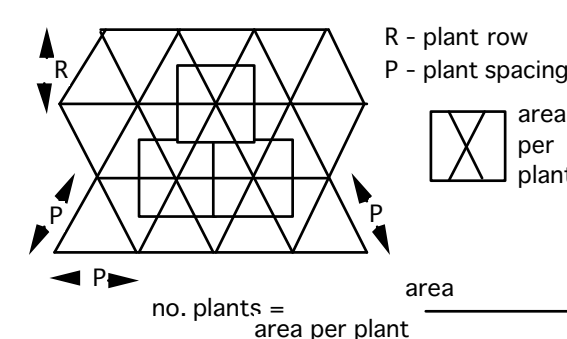
GPM IRRIG. CYCLE WEEK= 0

PLANT QTY	PLANT SIZE	GPH	TOT. GPH	GPM	IRRIG. CYCLE		SYSTEM	IRRIG. CYCLE		SYSTEM	SYSTEM	
					MINUTES	USAGE		MINUTES	USAGE		TOT. GAL WEEK	TOT. GAL MONTH
0	4"	2	0	0	1	1		0	3	7	0	0
0	1GAL	2	0	0	1	1		0	3	7	0	0
0	3GAL	3	0	0	1	1		0	3	7	0	0
0	5GAL	3	0	0	1	1		0	3	7	0	0
0	15GAL	6	0	0	1	1		0	3	7	0	0
0	24"BOX	8	0	0	1	1		0	3	7	0	0
0	36"BOX	12	0	0	1	1		0	3	7	0	0
0	64"BOX	20	0	0	1	1		0	3	7	0	0
0								0				0

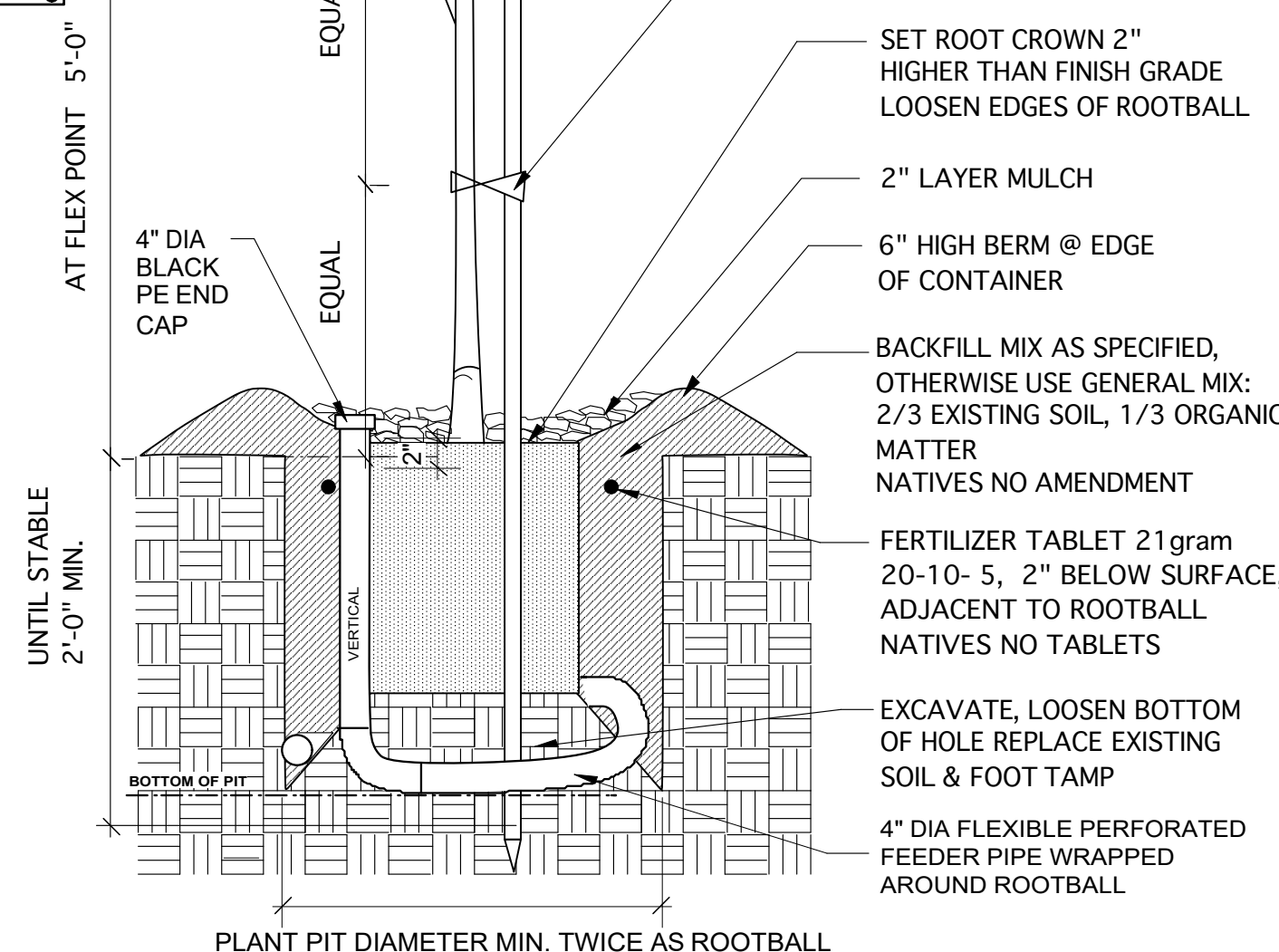
Plant List

ID	Botanical Name	Common Name	Qty	Size	WUCOL
WUCOL LEGEND: VL=VERY LOW, L=LOW, M=MEDIUM, H=HIGH					
Trees			19		
AcRu	Acer rubrum	"Red Maple, Swamp Maple"	2	15Gal	M
Lln	Lagerstroemia indica	Crape Myrtle	17	15Gal	L
Trees Coniferous			0		
Trees Fruit			1		
M'G	Malus 'Gala'	Apple	1	15Gal	M
Shrubs			47		
BVP	Brugmansia versicolor 'Peach'	Peach flowering Trumpet Wine	2	5Gal	M
BSS	Buxus sempervirens 'Suffruticosa'	True Dwarf Boxwood	22	3Gal	M
DO	Daphne odora	Fragrant Daphne	2	5Gal	L
EEF	Escalonia exoniensis 'Fradesi' (E. 'Fradesi') ncn	Escalonia	5	5Gal	M
GN	Grevillea 'Noellii'	ncn	1	5Gal	L
HeG	Hebe glaucophylla	ncn	1	5Gal	M
LIP	Lavandula intermedia 'Provence'	Lavender Provence	7	1Gal	L
LRH	Lycianthes rantonnei (Solanum rantonnetii)	Paraguay Nightshade	1	5Gal	M
RsBE	Rosa 'Bewitched'	Rose Hybrid Tea	1	5Gal	M
RsMC	Rosa 'Marie Galias'	Hybrid Tea Rose (Old Rose)	1	5Gal	M
RsPC	Rosa 'Pink Cascade'	Rose Shrub Ground cover	1	1Gal	M
RsSB	Rosa 'Sheer Bliss'	Rose Hybrid Tea	1	5Gal	M
RO	Rosmarinus officinalis	Rosemary	1	5Gal	L
SLE	Salvia leucantha	Mexican Bush Sage	1	1Gal	L
Shrubs Fruit			6		
CIMD	Citrus limon 'Improved Meyer Dwarf'	Lemon	5	5Gal	M
PGW	Punica granatum 'Wonderful'	Pomgrenate	1	5Gal	L
Perennials			23		
AO	Agapanthus orientalis	Lily of the Nile	2	1Gal	M
AgV	Aqastache mexicana 'Vivid'	Licorice Mint, Mexican Hyssop	1	1Gal	M
Cto	Cerastium tomentosum	Snow-In-Summer	4	1Gal	M
CMMM	Chrysanthemum maximum 'Mrs Muffet'	Shasta Daisy	1	1gal	M
IF	Iris foetidissima	"Gladwyn (Gladwin) Iris, stinking iris"	1	1Gal	M
PPe	Pelargonium peltatum	"Ivy Geranium, Trailing Geranium"	10	1Gal	M
PTen	Phormium tenax	New Zealand Flax	1	5Gal	L
PTMQ	Phormium tenax 'Maori Queen'	New Zealand Flax	1	1Gal	L
SG	Salvia greggii	Autumn Sage	1	1Gal	L
SRe	Strelitzia reginae	Bird of Paradise	1	1Gal	M
Cacti-Succulents			2		
STM	Senecio talionides var. mandraliscae	Senecio	2	1Gal	L
Herbs			0		
Ornamental Grasses			149		
HS	Helictotrichon sempervirens (Avena sempervirens)	Blue Oat Grass	129	1Gal	L
LLB	Lomandra longifolia 'Breeze'	Breeze Dwarf Mat Rush	6	1Gal	L
LLT	Lomandra longifolia 'Lime Tuff'	Dwarf Mat Rush	5	1Gal	L
LLN	Lomandra longifolia 'Nyalia'	Nyalia Dwarf Mat Rush	2	1Gal	L
LPLB	Lomandra longifolia 'Platinum Beauty'	Variegated Dwarf Mat Rush	3	1Gal	L
PS	Pennisetum setaceum	Crimson Fountain Grass	4	1Gal	L
Palms			1		
CR	Cycas revoluta	Japanese Fern Palm	1	5Gal	M
Vines			33		
BSBK	Bougainvillea 'Barbara Karst'	Bougainvillea	6	5Gal	L
BSp	Bougainvillea spectabilis (B. brasiliensis)	Bougainvillea	3	5Gal	L
RsAL	Rosa 'Alchymist'	Rose Shrub	1	5Gal	M
TJ	Trachelospermum jasminoides	Star Jasmin	23	1Gal	M
Aquatic Plants			0		
Bamboos			0		
Annuals-Biennials			0		
Bulbous Plants			0		
Ferns			0		
Vegetables			0		
Groundcover			0		

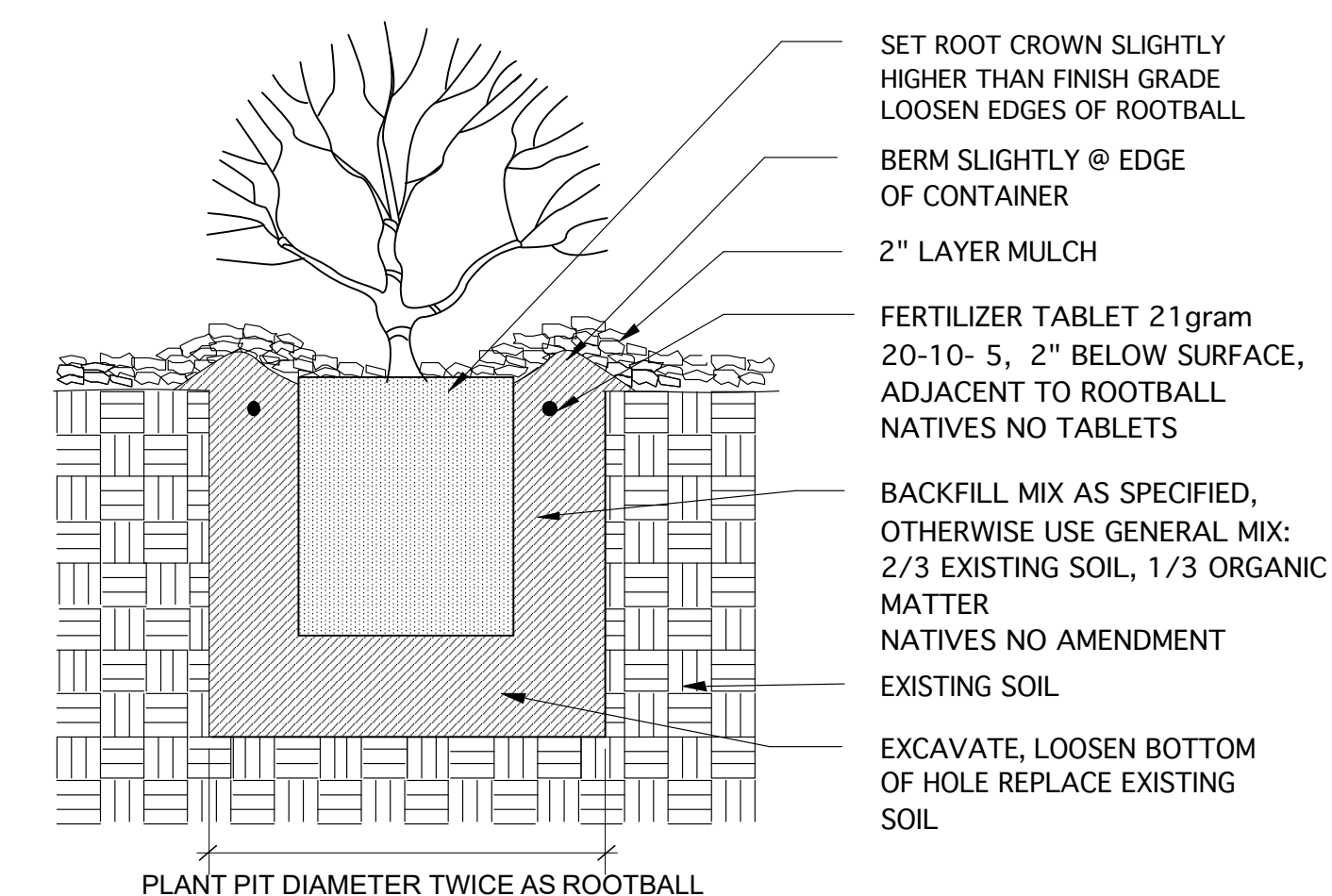
PLANT SPACING CHART



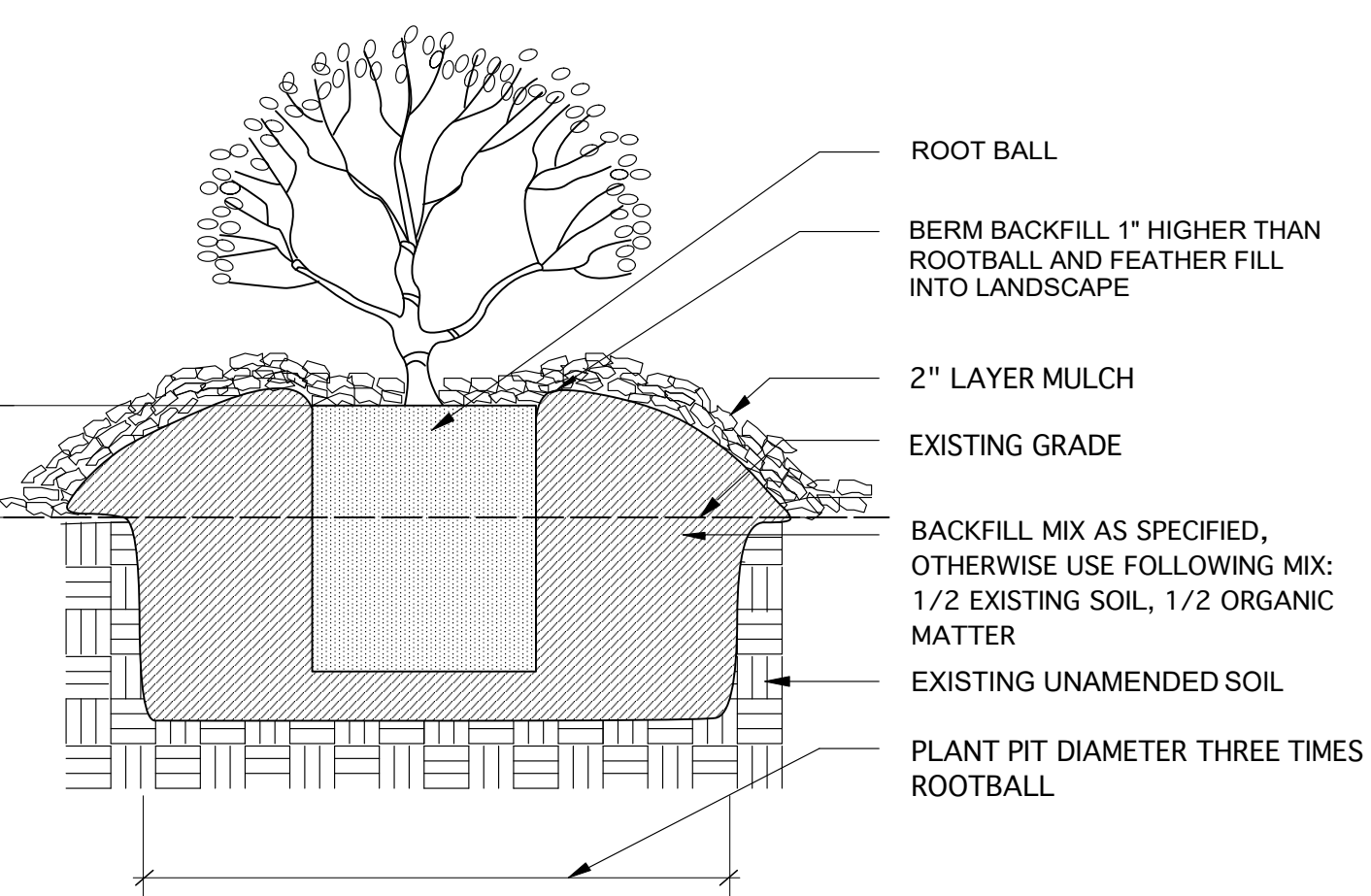
"P" (ft)	"R" (ft)	ft ²
.15	.13	.0195
.20	.18	.0360
.25	.22	.0550
.30	.26	.0780
.38	.33	.1254
.46	.40	.1840
.61	.53	.3233
.76	.66	.5016
.91	.79	.7189
1.00	.87	.8700
1.22	1.06	1.2900
1.25	1.08	1.3500
1.50	1.30	1.9500
1.52	1.32	2.0064
1.75	1.52	2.6600
1.83	1.58	2.8914
2.00	1.73	3.4600
2.44	2.11	5.1484
2.50	2.17	5.4250
3.00	2.60	7.8000
3.05	2.64	8.0520
4.00	3.46	13.8400
4.57	3.96	18.0977
5.00	4.33	21.6500
6.00	5.20	31.2000
6.10	5.28	32.2080
8.00	6.93	55.4400
10.00	8.66	86.6000
15.00	12.99	194.8500



1 TREE PLANTING AND STAKING
Scale: 1/2"=1'-0"



2 SHRUB PLANTING TYP.
Scale: 1/2"=1'-0"



3 RHODODENDRON, AZALEA PLANTING TYP.
Scale: 1/2"=1'-0"

LANDSCAPING NOTES:

GENERAL:

- PLANTING SHALL BE DONE BY A LICENSED LANDSCAPE CONTRACTOR AND EXPERIENCED WORKMEN. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARTD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR CLIENT. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE PROJECT LANDSCAPE DESIGNER OR CLIENT.
- AT PLANTING TIME, ALL PLANTS SHALL BE THINNED BY REMOVING A BALANCED ONE-THIRD OF VEGETATIVE MATERIAL. ALL PLANTS MAY BE SPRAYED WITH AN ANTIDESSICANT WITHIN 24 HOURS AFTER PLANTING IN TEMPERATE ZONES, ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT AT THE BEGINNING OF THEIR FIRST WINTER.
- ALL PLANTS SHALL BE INSTALLED AS PER DETAILS AND THE CONTRACT SPECIFICATIONS.
- ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE LOAM FILL AS PER THE CONTRACT SPECIFICATIONS.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.
- THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- THE LANDSCAPE CONTRACTOR SHALL REFER TO THE PLANT LIST FOR SEASONAL REQUIREMENTS AND OTHER RESTRICTIONS RELATED TO THE TIME OF PLANTING.

SUPERVISION:

THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION. DISCREPANCIES OR OTHER PROBLEMS SHALL BE RESOLVED AT THIS TIME. THERE SHALL BE INSPECTIONS DURING THE PROGRESS OF THE WORK. AN INSPECTION TO BEGIN THE MAINTENANCE PERIOD, AND A FINAL INSPECTION. PLANTS, PLANT LOCATIONS, AND GRADING SHALL BE APPROVED PRIOR TO PLANT INSTALLATION.

GUARANTEE AND MAINTENANCE:

TREES 15 GALLON CAN OR LARGER SHALL BE IN THRIVING CONDITION 1 YEAR FROM THE DATE OF FINAL ACCEPTANCE. SHRUBS FOR 6 MONTHS FROM DATE OF ACCEPTANCE. PLANT MAINTENANCE SHALL BE FOR 30 DAYS FROM THE DATE OF ACCEPTANCE FOR MAINTENANCE. GROUND COVER AND SHRUB AREAS SHALL BE WEDED AND DEAD PLANTS REPLACED AT 15 DAY INTERVALS PRIOR TO FINAL ACCEPTANCE.

GRADING AND TOPSOIL:

RIP EXISTING SOIL TO A DEPTH OF 4" PRIOR TO SPREADING TOPSOIL OR FILL. THE CONTRACTOR SHALL INSTALL A MINIMUM OF 6" OF APPROVED TOPSOIL ON ALL PLANTING AREAS. SOURCE SHALL BE EITHER EXISTING AT GRADE MATERIAL, OR LOCAL IMPORT. SUBMIT A SAMPLE TO THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY. IF NO TOPSOIL IS ADDED, SPREAD IN AMENDMENT ON ALL PLANTING AREAS AND ROTOTILL TO A DEPTH OF 4" MIN. GROUND COVER AREAS SHALL BE BROUGHT UP TO 2 1/2" OF TOP OF ADJACENT PAVING OR CURBS. MOUNDS, IF SHOWN, SHALL BE MADE OF CLEAN FILL MATERIAL. THE CONTRACTOR SHALL USE ON SITE OR LOCAL IMPORT. COST AND SOURCE WITH OWNER'S REPRESENTATIVE PRIOR TO BIDDING. CONTOURS, IF SHOWN ARE INDICATED ON PLAN. FINAL SHAPING SHALL BE APPROVED IN THE FIELD BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL GRADING AND ALL PLANTING AREA SURFACE DRAINAGE. DRAIN TO PAVING - C, B, ETC. NO LOW SPOTS THAT HOLD STANDING WATER WILL BE ACCEPTED UPON COMPLETION OF THE WORK. SOIL AMENDMENT SHALL BE TILLO, CEDA-SOIL OR APPROVED EQUAL.

GROUND COVER PLANTING:

AMEND PLANTING AREAS WITH 2 CUBIC YARDS SOIL AMENDMENT PER 1000 SQ.FT. APPLY 10-10-10 FERTILIZER AT 10 LBS/1000 S.F. WITH AMENDMENT. ROTOTILL TO A DEPTH OF 4", INCORPORATING MATERIALS INTO THE SOIL. CLEAR PLANTING AREA OF ROCK, DEBRIS, GREATER THAN ONE INCH DIAMETER. APPLY A PRE-EMERGENT HERBICIDE RONSTAR "G" OR APPROVED EQUAL PER MANUFACTURER'S DIRECTIONS. PLANT ROOTED CUTTINGS AT 12" O.C. OR AS INDICATED. WATER PLANTS WITHIN 4 HOURS OF THE TIME OF PLANTING. 15 DAYS AFTER PLANTING, REPLACE DEAD PLANTS. ALL PLANTING AREAS SHALL HAVE 2" OF 1" DIAMETER FIRBARK MULCH INSTALLED PRIOR TO PLANTING. AT 30 DAYS, FEED WITH 10-10-10 FERTILIZER AT 10LBS/1000 S.F.

TREE AND SHRUB PLANTING:

PLANTING BACKFILL MIX SHALL BE 3 PARTS TOPSOIL, 1 PART SOIL AMENDMENT, THOROUGHLY MIXED. FERTILIZE PLANTS AT THE TIME OF PLANTING WITH AGRIFORM 21 GRAM PLANT TABLETS: 2/1 G.C., 3/5 G.C., 6/15 G.C. BOX TREES - 3/ PER INCH CALIPER. TABLETS SHOULD NOT BE IN CONTACT WITH ROOTBALL. PLANTS SHALL BE ERECT AFTER PLANTING AND STAKED OR GUYED AS DETAILED - IMMEDIATELY AFTER PLANTING. PLANT CROWNS SHALL BE 1" ABOVE FINISHED GRADE AFTER WATERING AND SETTLING. TREE AND SHRUB PLANTING SHALL BE WATERED WITHIN 2 HOURS OF THE TIME OF PLANTING AND FLOODED TO ELIMINATE AIR POCKETS.

PLANTING NOTES

- LANDSCAPE CONTRACTOR SHALL VERIFY PLANT AND SOD QUANTITIES PRIOR TO SUBMITTING BID FOR WORK.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST STANDARDS OF NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- PLANT MATERIAL CANNOT BE GUARANTEED AS DEER RESISTANT DUE TO CHANGING HABITS OF DEER.
- ALL PLANTING AREAS SHALL BE COVERED WITH A LAYER OF BARK MULCH TO A MINIMUM DEPTH OF 2 INCHES, WITH A CHIP SIZE OF NO LESS THAN ONE INCH. A 2 INCH LAYER OF GREENWASTE MULCH UNDER THE BARK MULCH IS RECOMMENDED.
- SOIL AMENDMENTS SHALL BE USED AS NECESSARY. SOIL AMENDMENT SHALL BE FREE OF DEBRIS. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS ARE NOT PERMITTED IN TYPICAL NATIVE PLANT LANDSCAPE AREAS.
- PLANTING HOLES SHALL GENERALLY BE 2x - 3x THE SIZE OF THE ROOT BALL. THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH 5% ORGANIC COMPOST & 95% EXISTING SOIL. PLANTING HOLES OF NATIVE PLANT MATERIAL SHOULD BE INOCULATED WITH MYCORRHIZAL FUNGI, PER MANUFACTURER'S SPECS.
- TREES SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIA. POLES. TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN TRUNK AND STAKE.
- RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTOR AS NECESSARY. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- LAWN SHALL NOT BE INSTALLED ON SLOPES GREATER THAN 25%. ALL TURF AREAS SHALL BE FERTILIZED AT TIME OF INSTALLATION.

KEY PLAN

Revision	Date	Project ID	CAD File Name	Plot Date
	05/11/2025	L 0xxx	L 0xxx	05/11/2025

Design Firm: **LANDSCAPE DESIGN**
78 Avenida Drive, Berkeley CA 94708
phone: 510 845 4129, fax: 510 845 4115
E-mail: @gallanlandscapedesign.com, web: www.gallanlandscapedesign.com

Project Title: **MAGDALENO MAGANA**
2834 EL PORTAL DR,
SAN PABLO, CA 94806

Scale: **1/8" = 1'-0"**

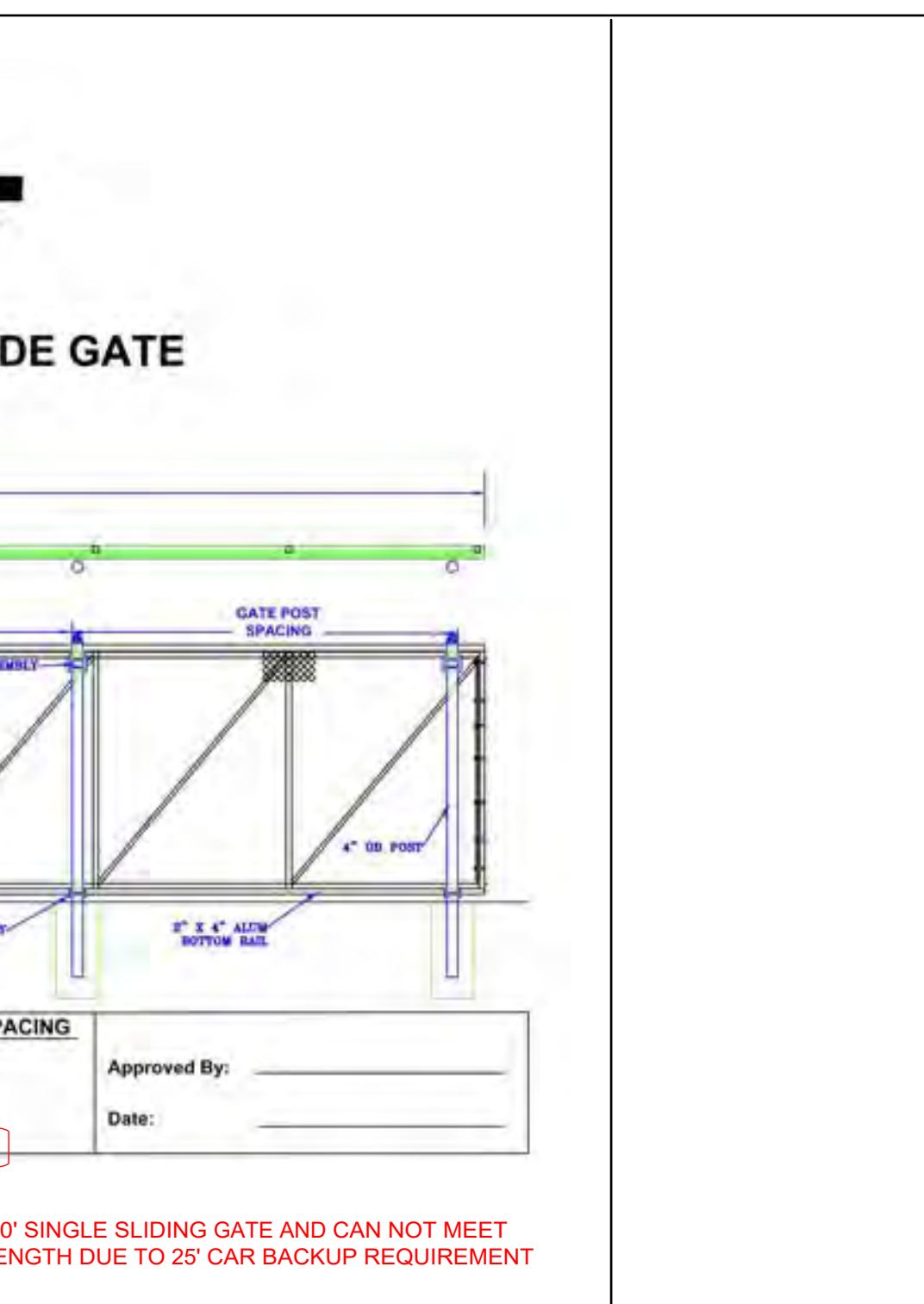
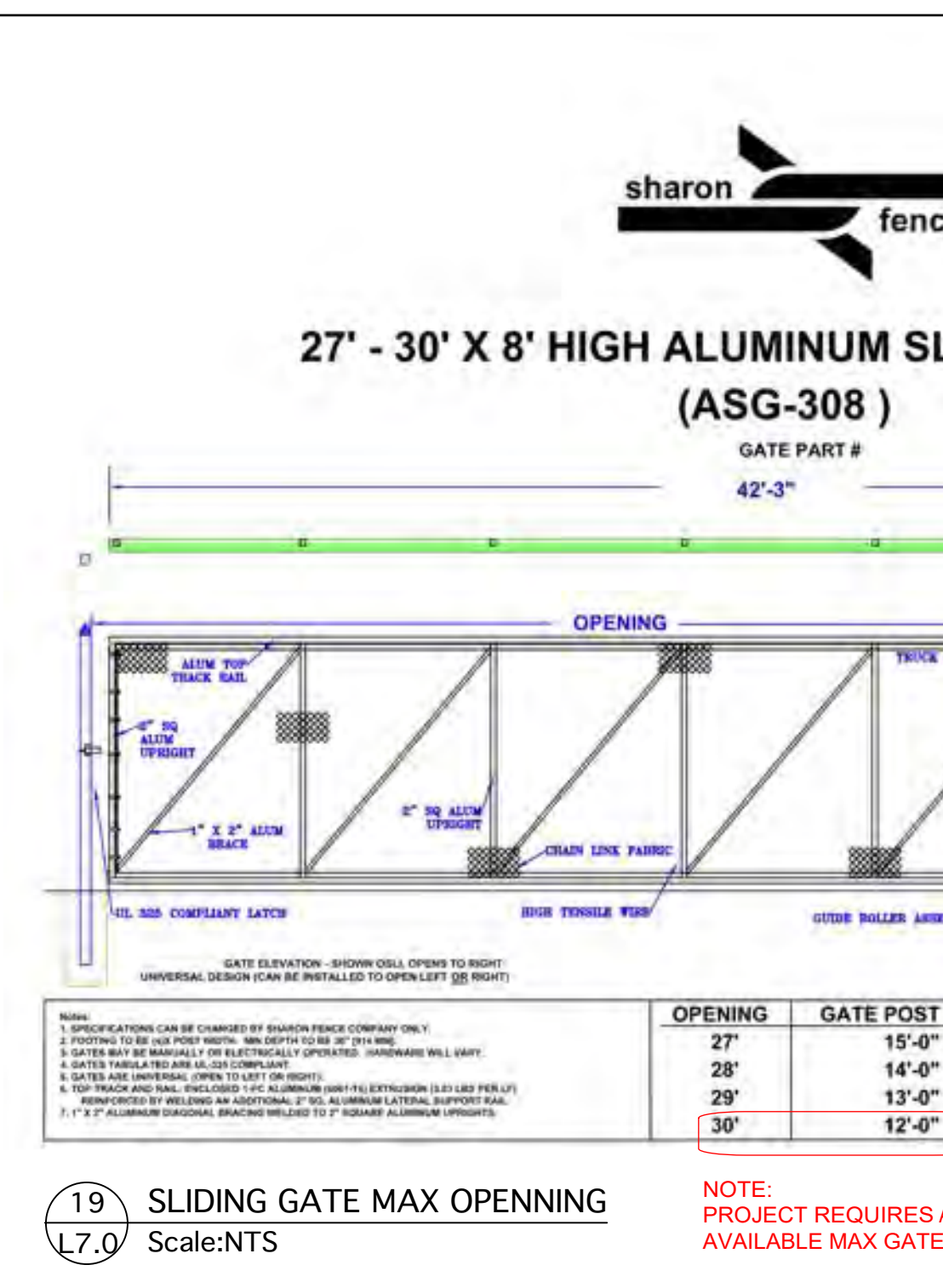
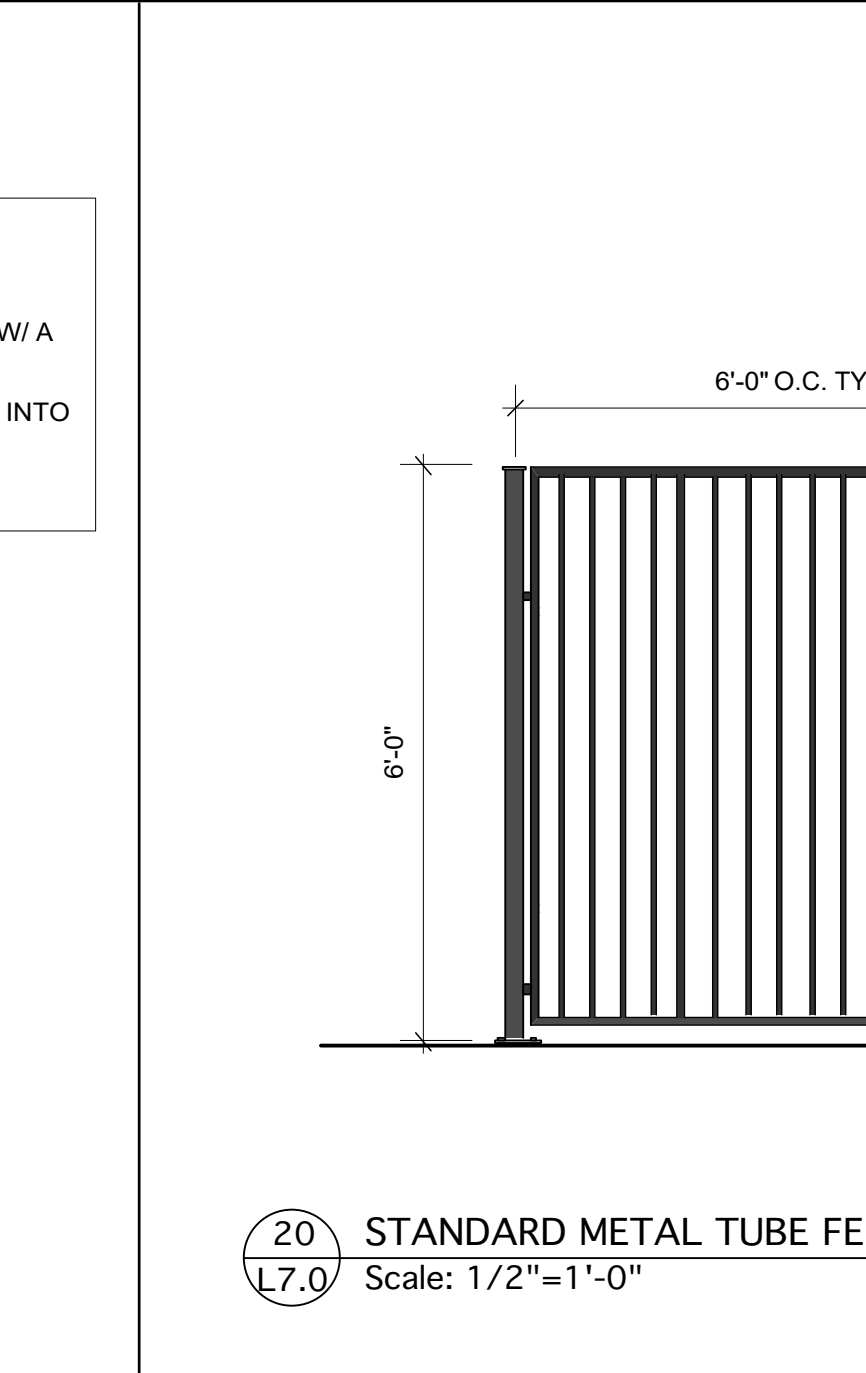
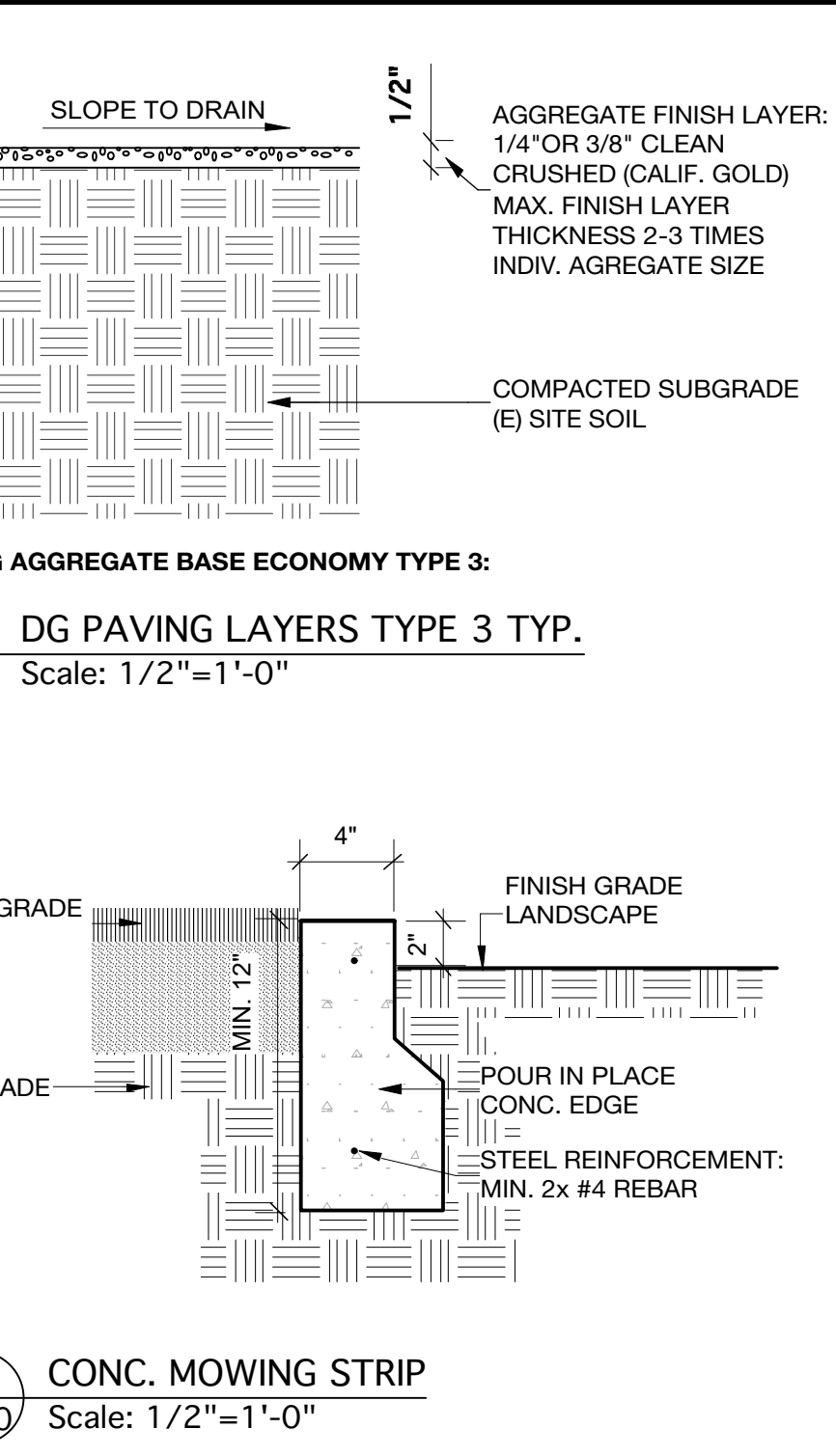
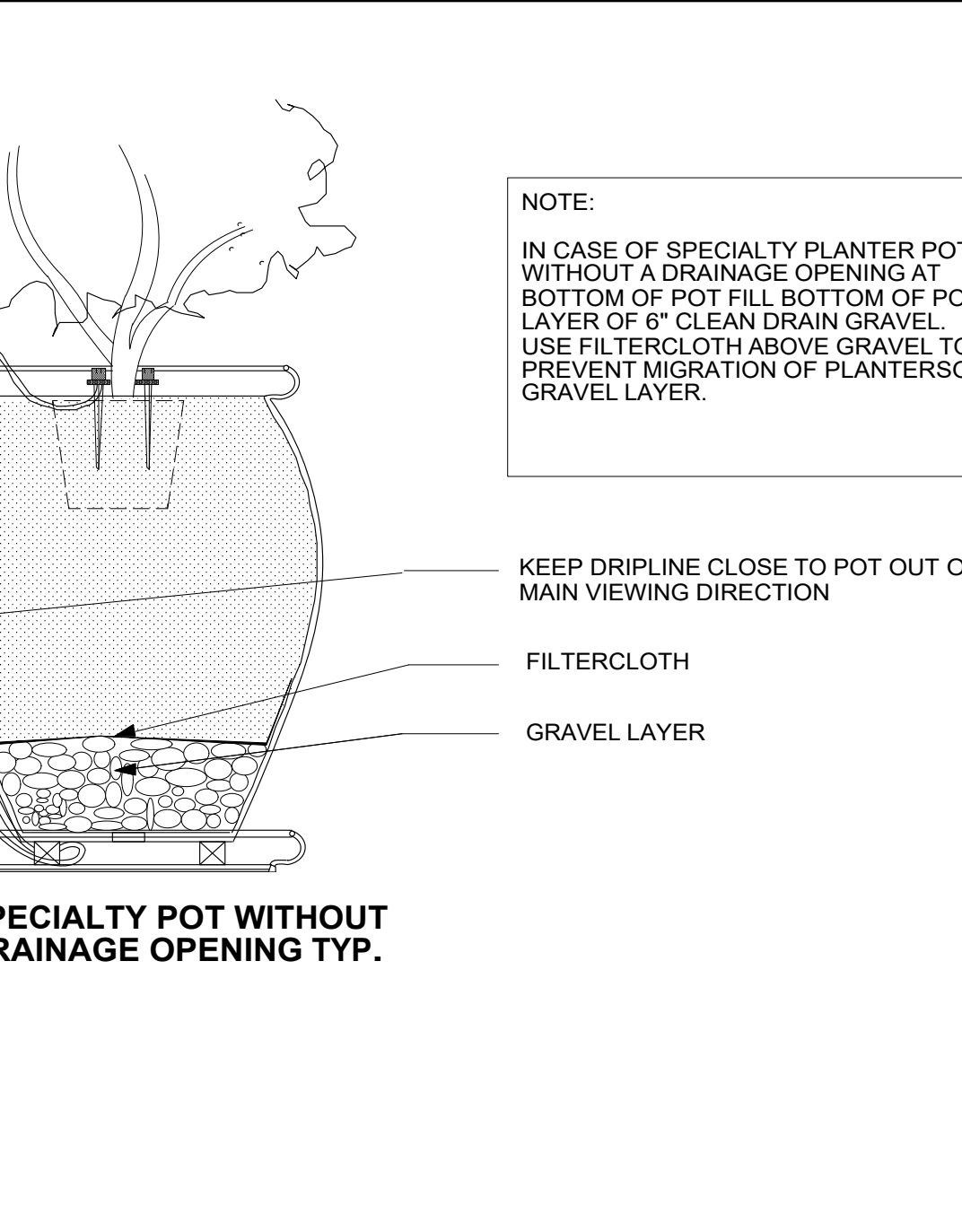
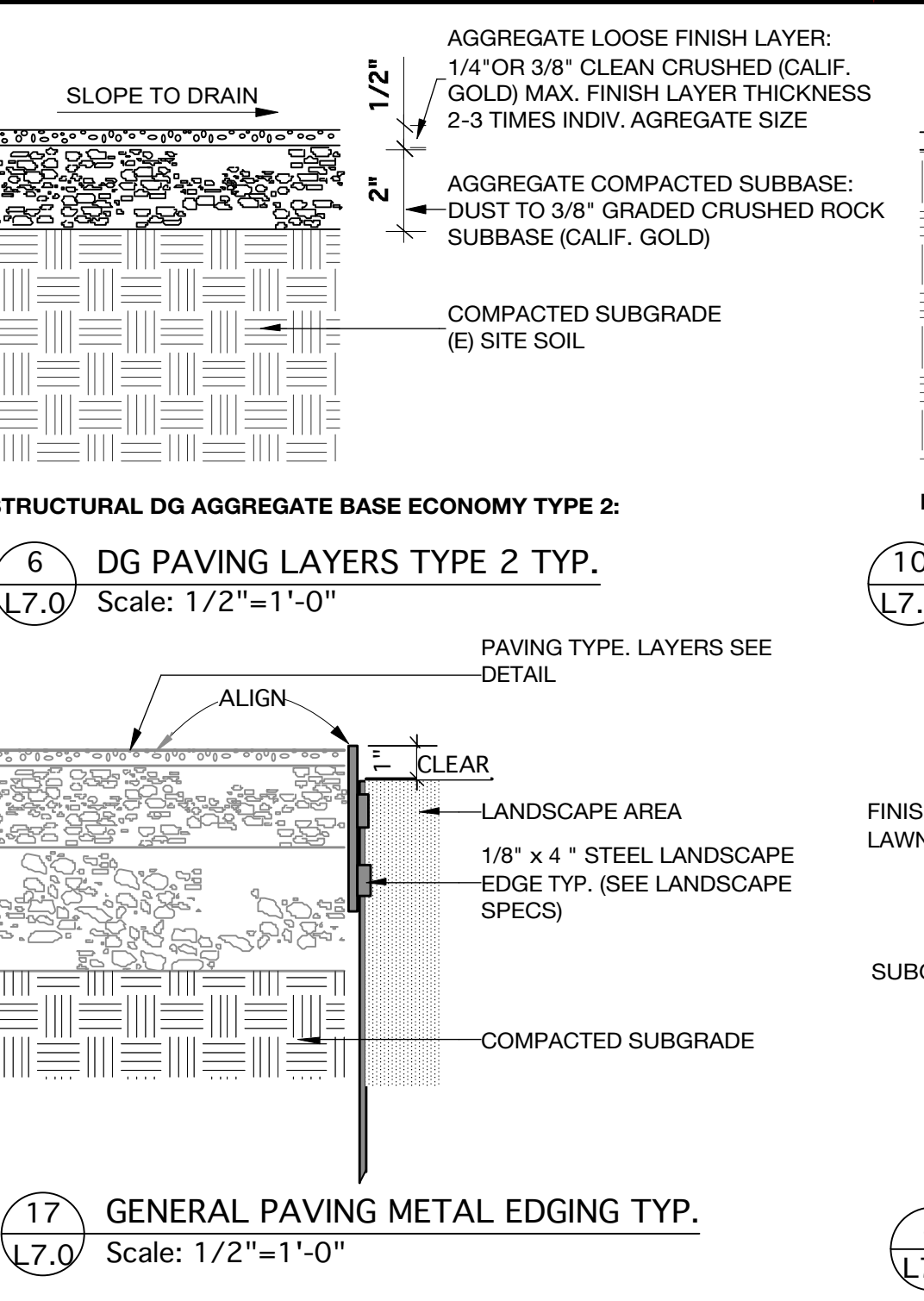
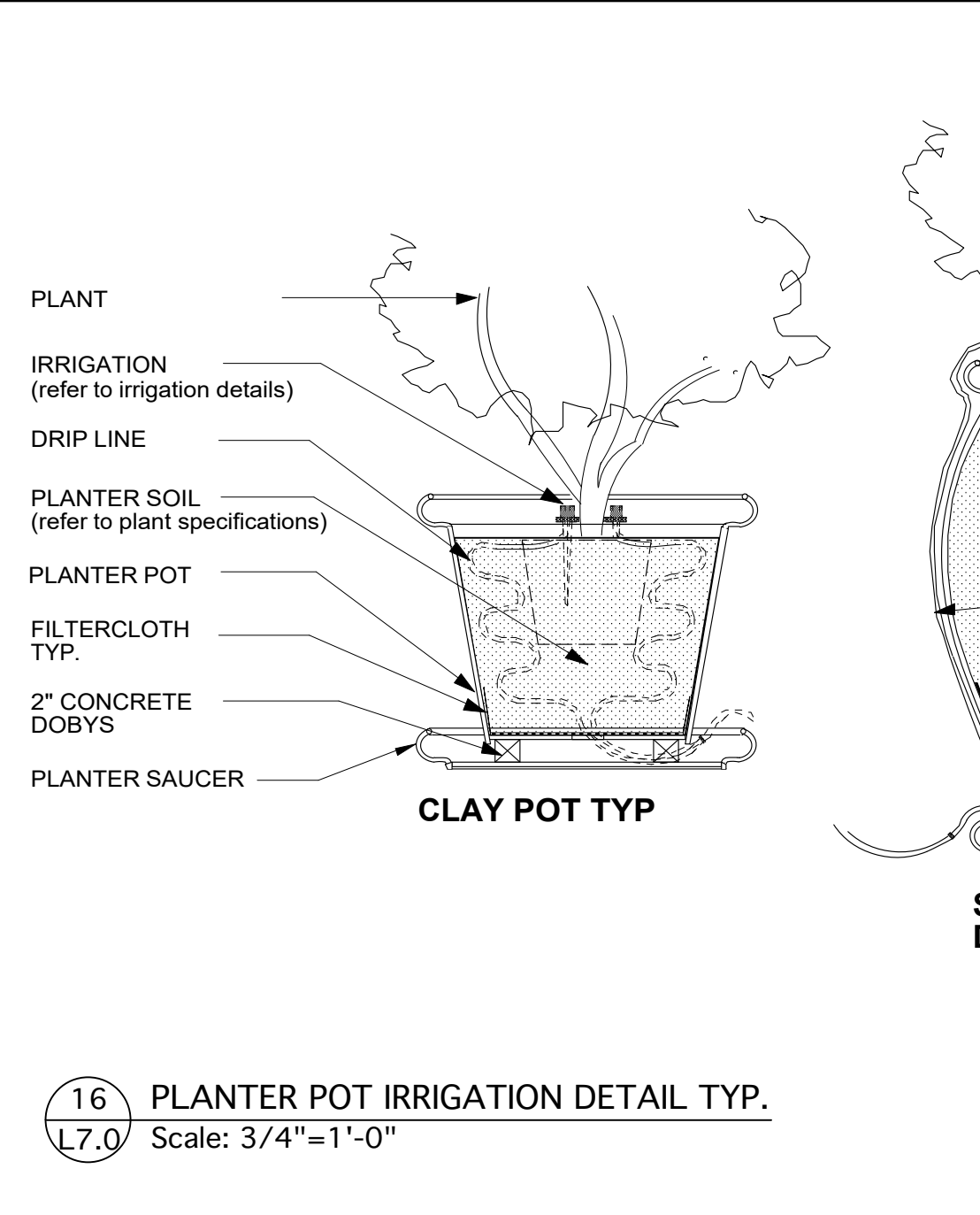
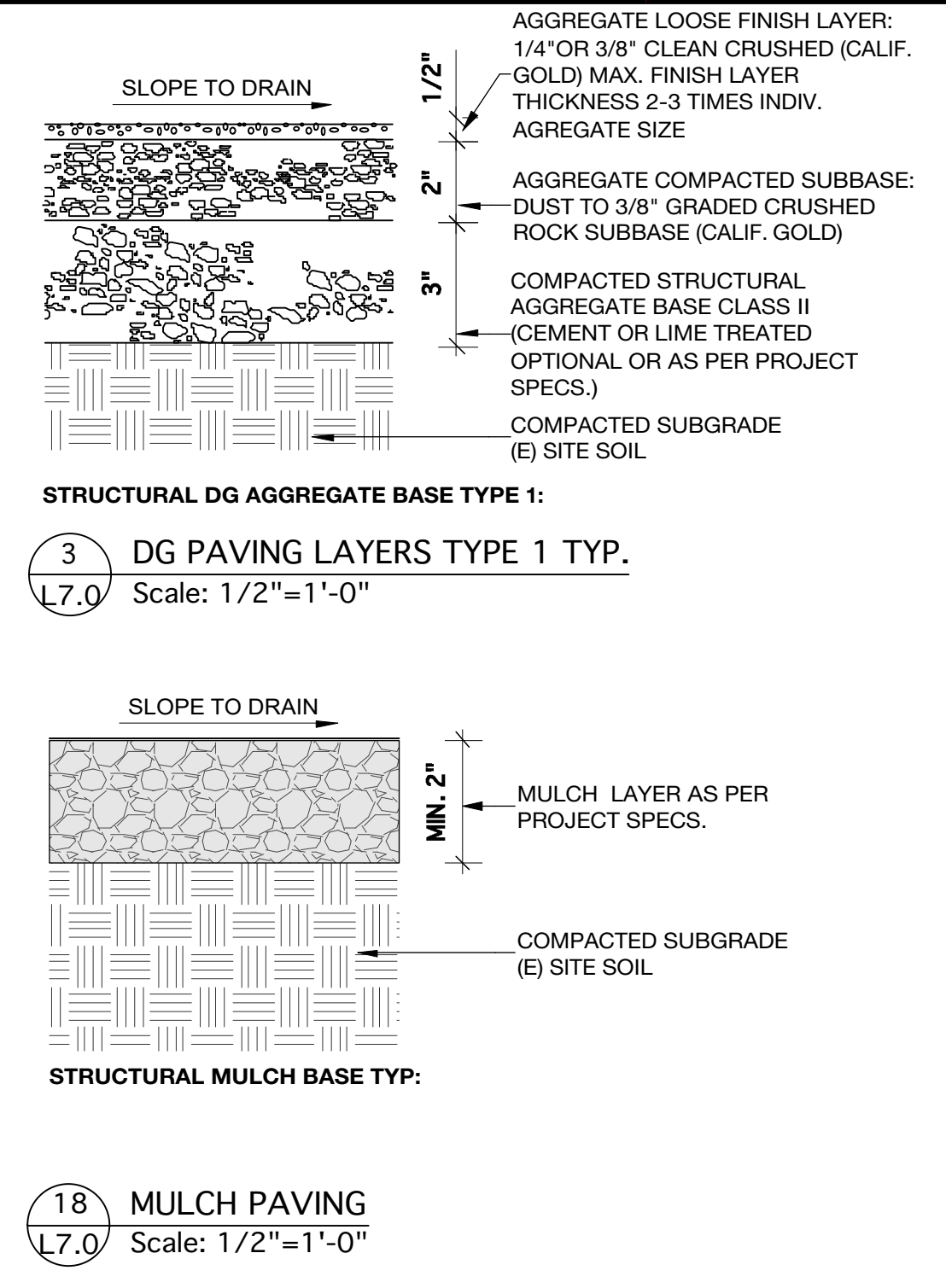
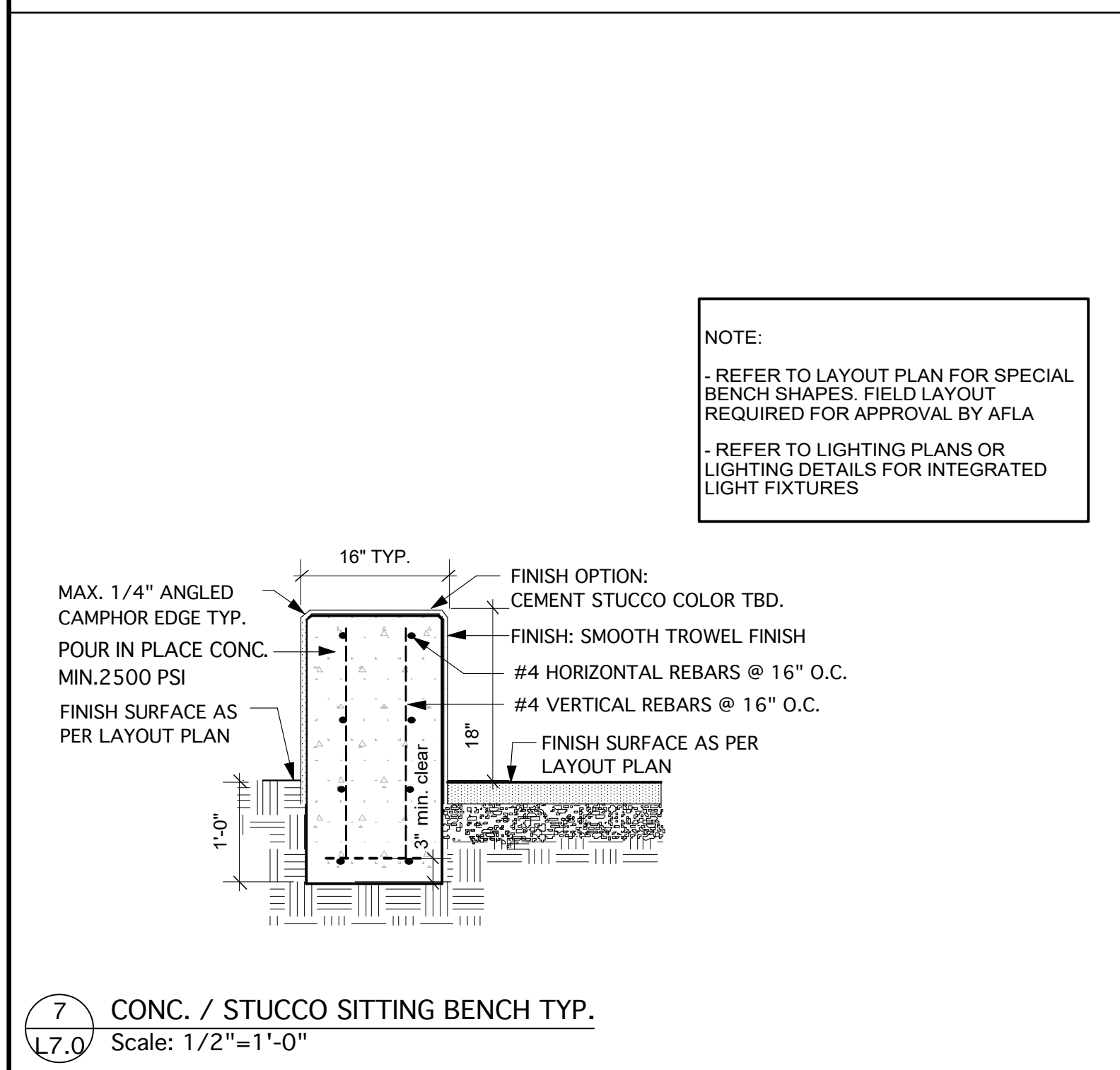
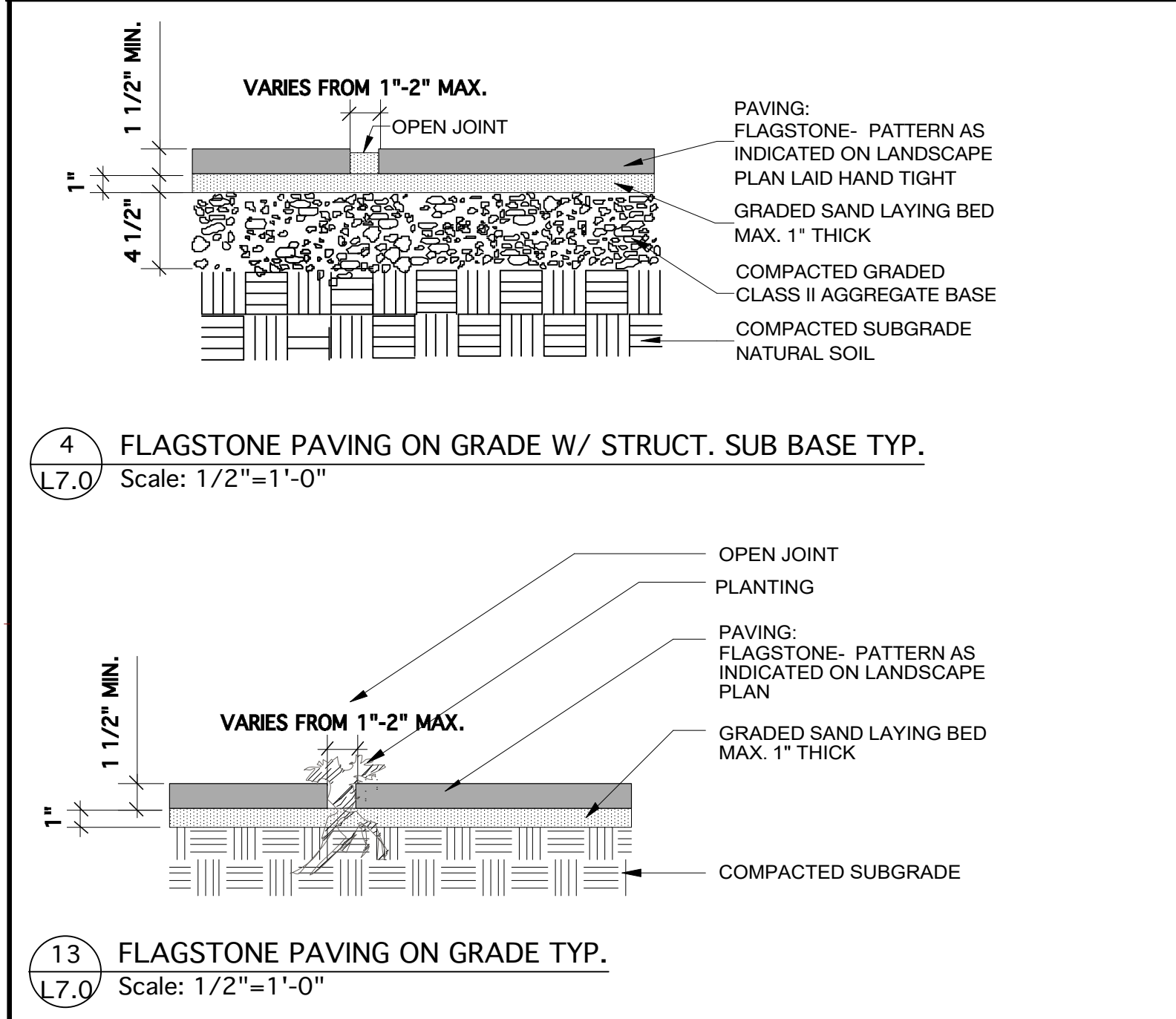
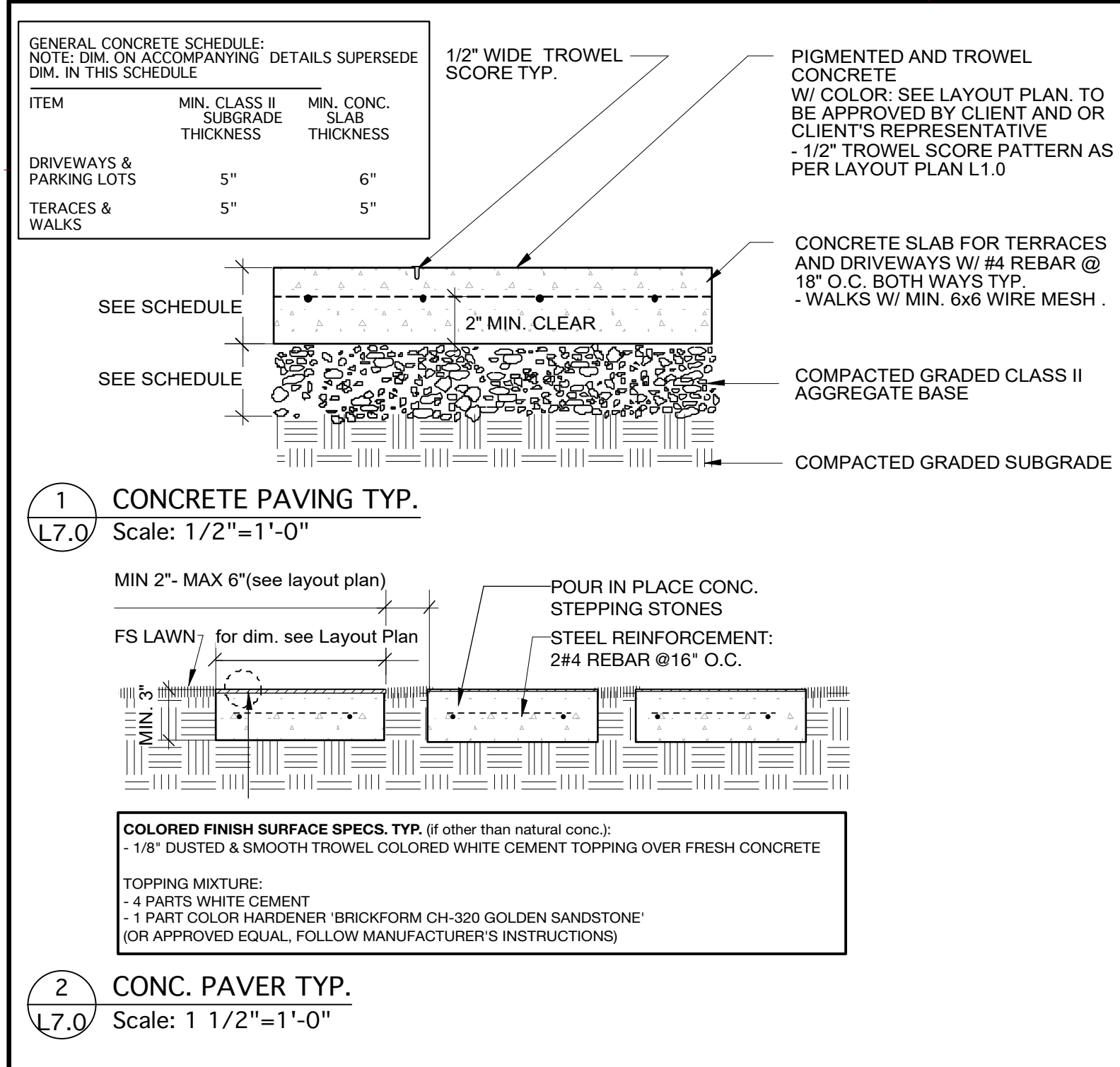
Drawing No.: **L4.1.0**

Issue Notes: **PLANTLIST REV#3.1**

Scale: **1/8" = 1'-0"**

Drawing No.: **L4.1.0**

of



KEY PLAN

6. All drawings, contracts, conditions and specifications are subject to change without notice. The user of this document is responsible for verifying the accuracy of the information contained herein. The design has been prepared to accommodate the conditions shown on the drawings. The contractor is responsible for verifying the accuracy of the information contained herein. The contractor is not responsible for correcting the accuracy of the information contained herein. The contractor is not responsible for the accuracy of the information contained herein.

Revision	Date	Designed By	Drawn By	Reviewed By	Submitted By
	05/11/2025	A.F.	A.F.	A.F.	A.F.

Project ID: L.00x
CAD File Name: L.00x
Plot Date: 05/11/2025

No. _____ Date _____ Issue Notes _____

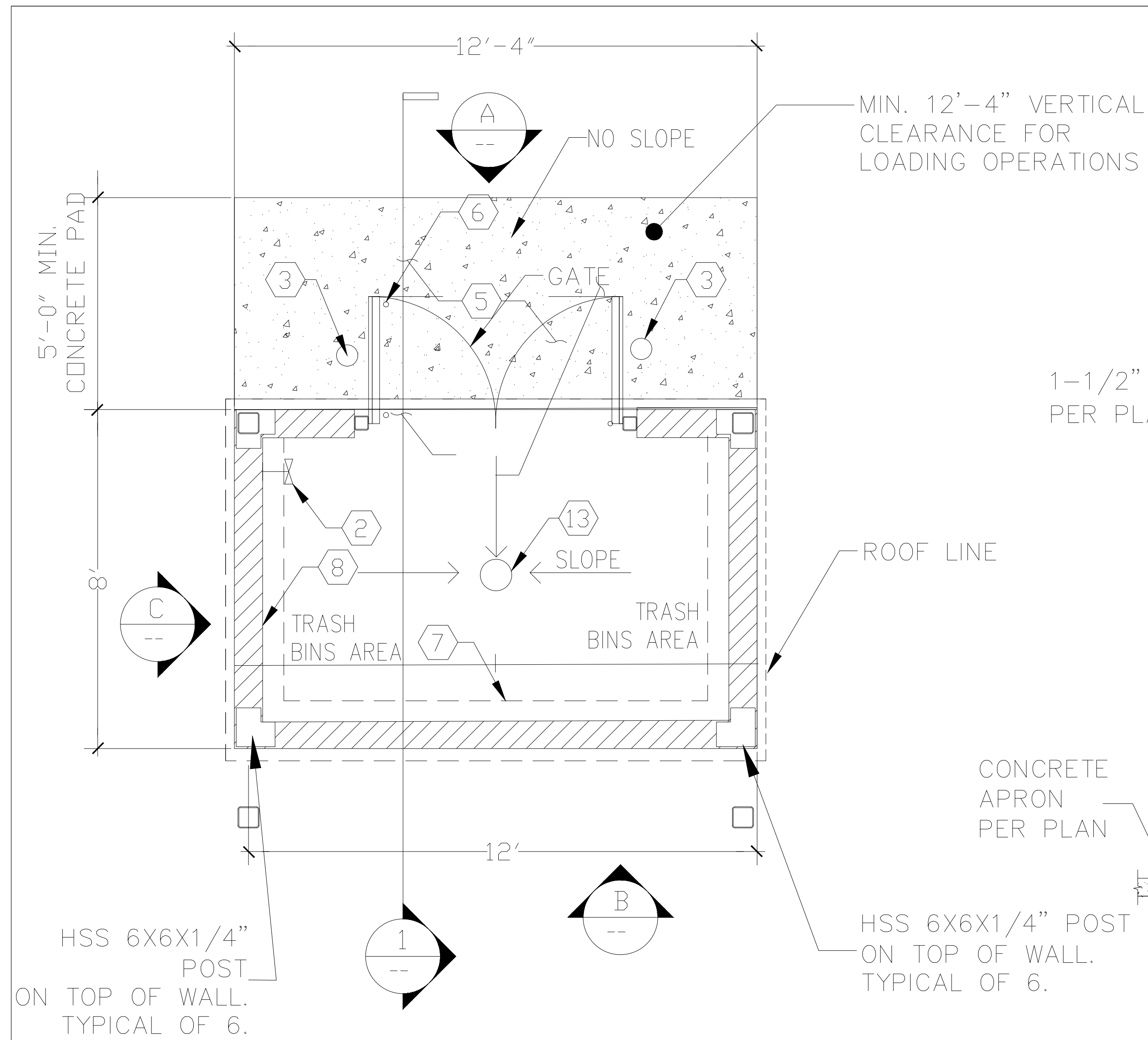
Design Firm: **AFLA LANDSCAPE DESIGN**
78 Avenida Drive, Berkeley CA 94708
phone: 510 845 4129, fax: 510 845 4115
E-mail: a@flalandscape.com, web: www.flalandscape.com

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2834 EL PORTAL DR.,
SAN PABLO, CA 94806

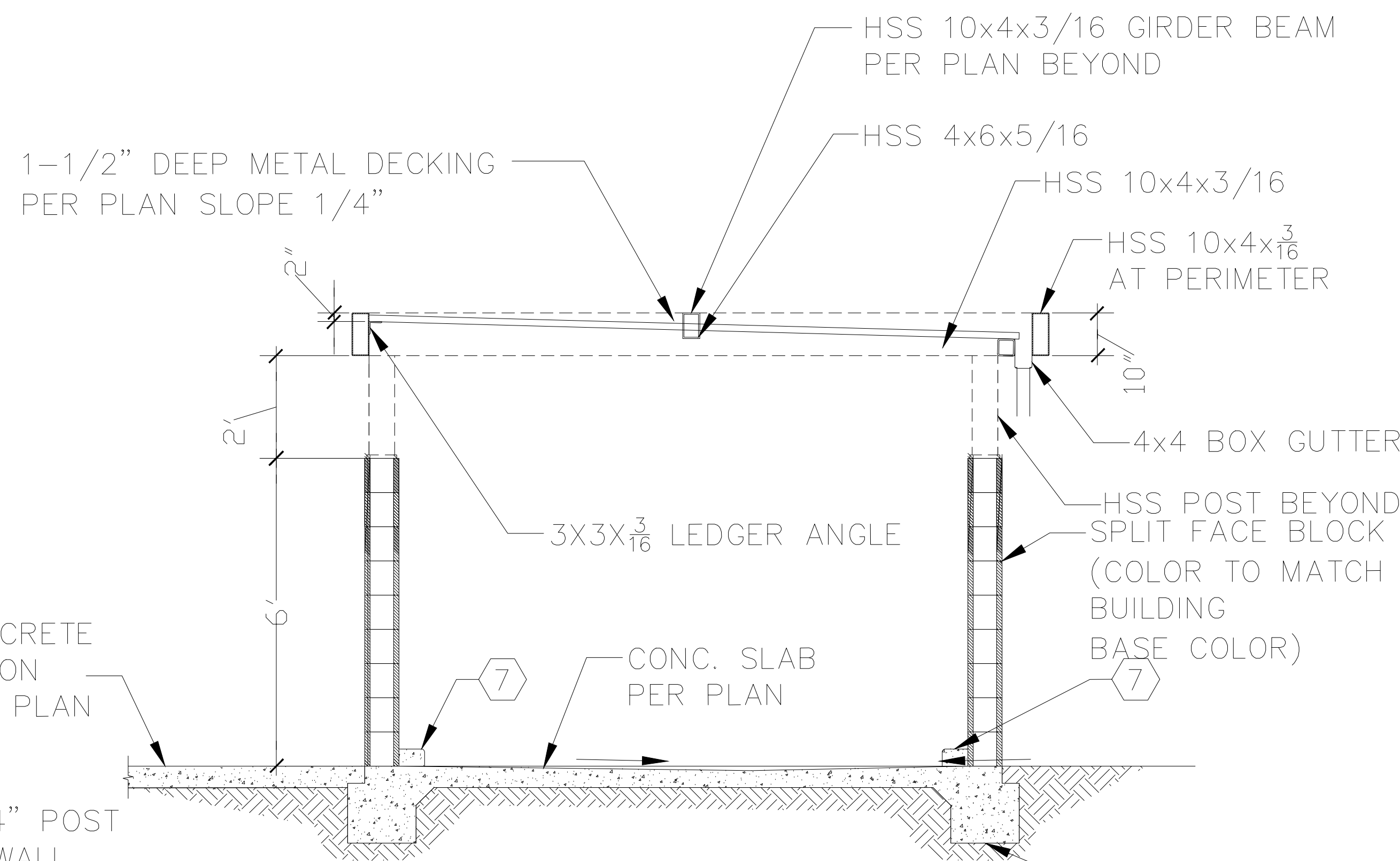
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Drawing No.: **L7.0**
of _____

Drawing Title: **DETAILS**

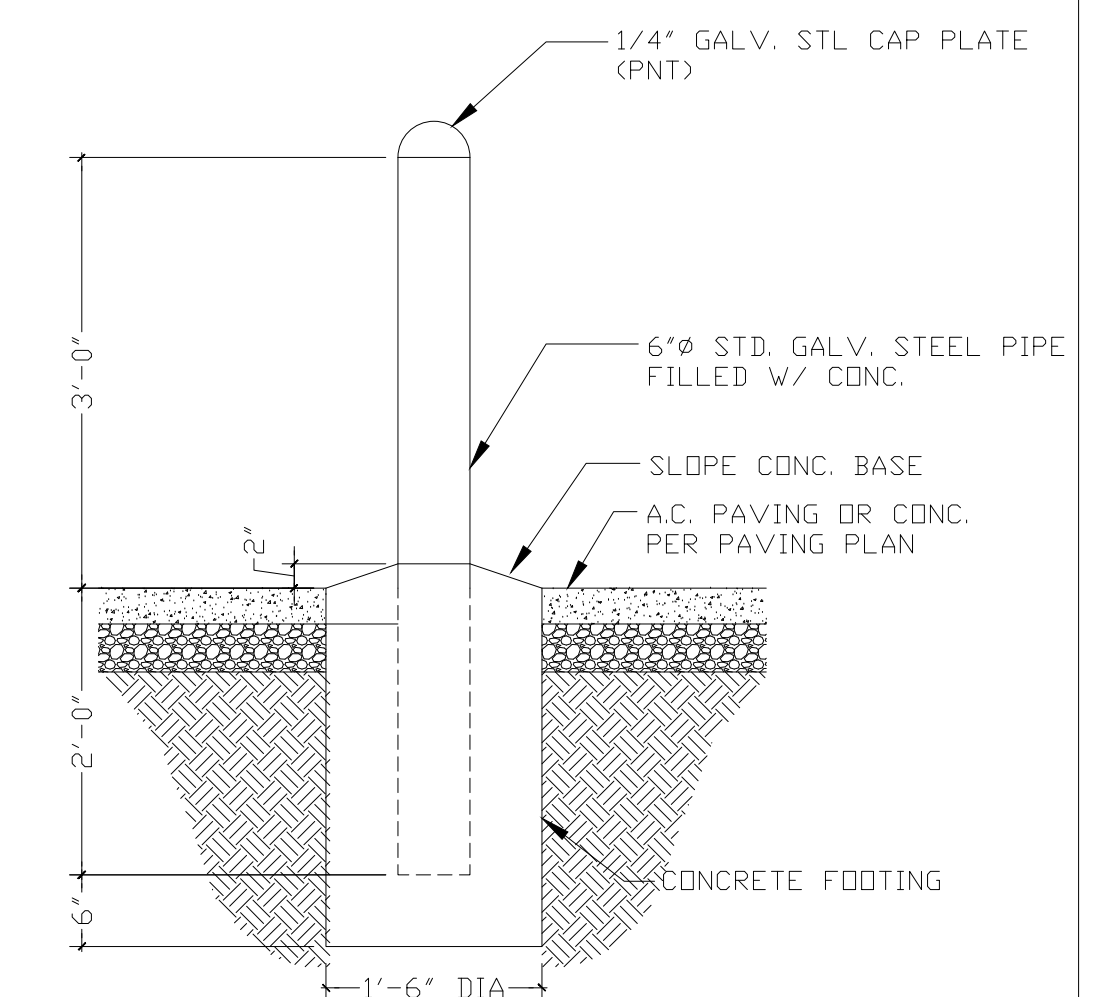


TRASH ENCLOSURE PLAN
SCALE - 1/2" = 1'-0"

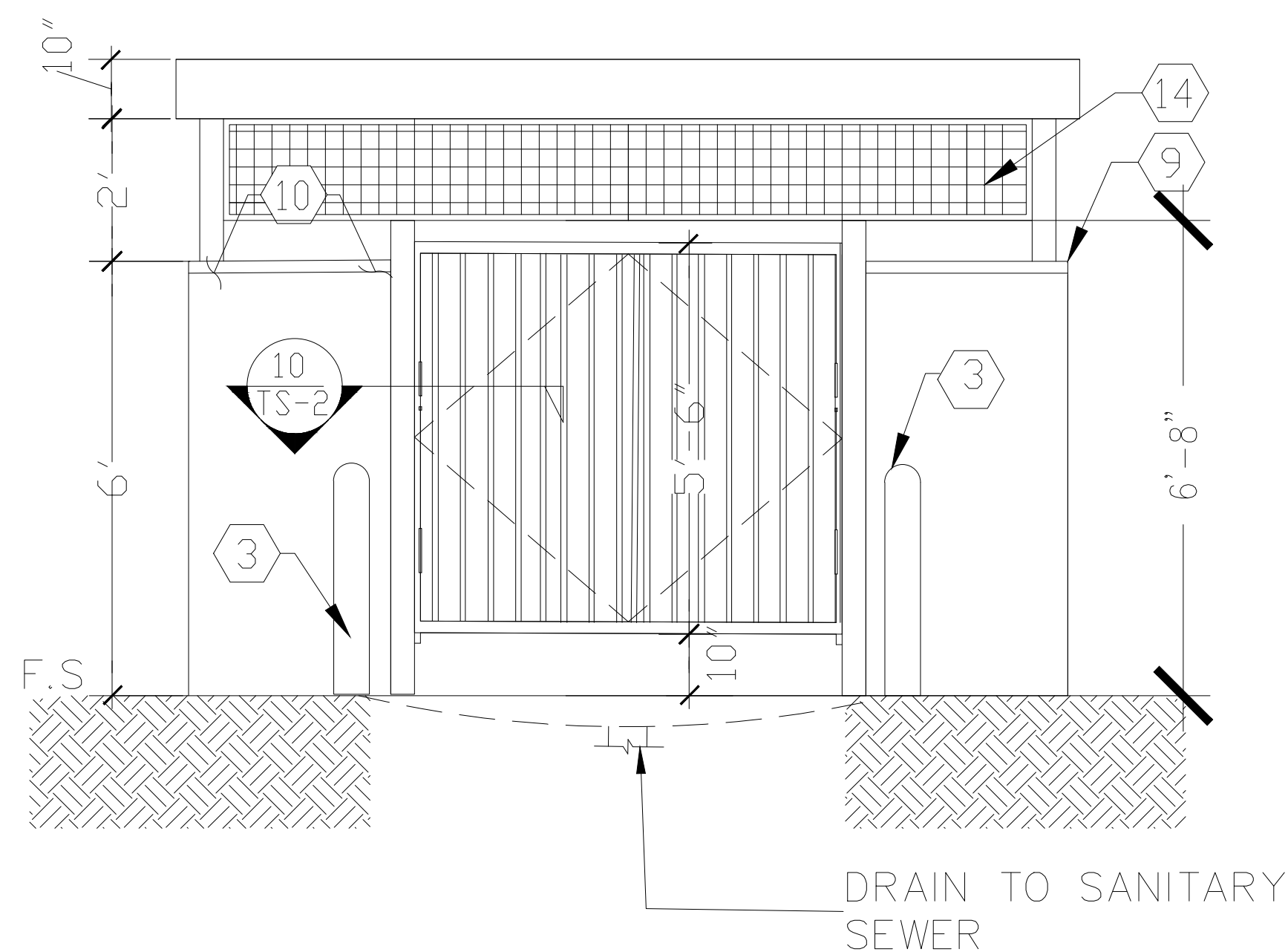


1 TRASH ENCLOSURE CROSS SECTION PER PLAN
SCALE - 1/2" = 1'-0"

- KEY NOTES**
- ① 3/4" SLEEVES TO 4" DEEP (TYP)
 - ② FROST PROOF HOSE BIB
 - ③ BOLLARDS : 6"Ø STD. GALV. STEEL PIPE FILLED W/ CONC.
 - ④ HSS 4X4X1/4 POST @ GATE
 - ⑤ 5" THICK CONC. APRON WITH 6X6-W.W.F.
 - ⑥ SOLID STEEL & SHOULD BE HINGED FROM OUTSIDE WITH CANE BOLTS TO HOLD THE GATES OPEN
 - ⑦ 6" WIDE CONC. CURB
 - ⑧ 8"X8"X16" CASTLE GREY SPLIT FACE BLOCK WALL
 - ⑨ 2" CAP BLOCK TYP.
 - ⑩ SPLIT FACE BLOCK (COLOR TO MATCH WITH BUILDING BASE COLOR)
 - ⑪ HSS 10X4X3/16" PERIMETER BEAM FASCIA
 - ⑫ 3/4" SLEEVES TO 4" DEEP (TYP.)
 - ⑬ DRAIN TO SANITARY SEWER
 - ⑭ 3"X3" WOVEN WIRE MESH 10 GAUGE WITH 2 1/2" x 2" x 1/4" ANGLE IRON FRAME (ATTACH ED TO STRUCTURE)



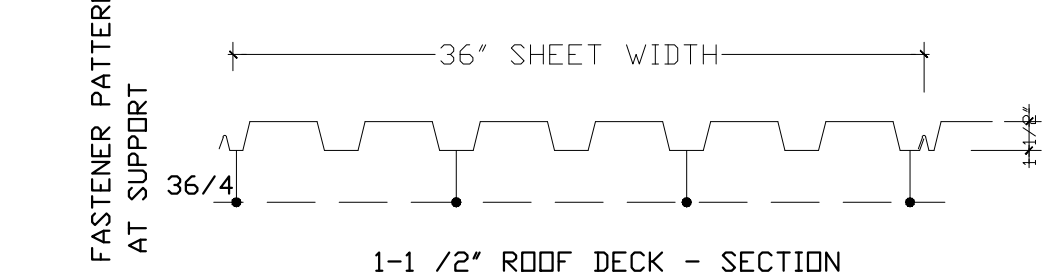
2 PIPE BOLLARD DETAIL
SCALE - 3/4" = 1'-0"



A TRASH ENCLOSURE ELEVATION
SCALE - 1/2" = 1'-0"

ROOF DECK SCHEDULE

DECK-1 1-1/2" DEEP 20 GAUGE DECK WITH (4) HILTI X-HSN24 PAF PER SHEET AT SUPPORTS AND PUNCH LOK II CONNECTION (VSC2) SIDELAP @ 12" O.C. + #10 SCREWS @ 12" AT SUPPORT PARALLEL TO FRAMING



- ROOF DECK NOTES**
1. DECK LAYUP SHALL PROVIDE ALL DECK SHEETS OF SUFFICIENT LENGTH TO EXTEND CONTINUOUSLY OVER AT LEAST 3 SPANS.
 2. ENDS OF ADJOINING DECK SHEETS SHALL BE CENTERED OVER SUPPORTS & BUTTED OR ACCEPTABLY LAPPED 2".
 3. DO NOT SUSPEND CEILINGS, LIGHT FIXTURES, CONDUITS, DUCTS, PIPING, OR OTHER UTILITIES & UTILITY COMPONENTS FROM DECK.
 4. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

SHEET TITLE: **TRASH ENCLOSURE**

DRAWN BY: Deilly E	APPROVED BY: BJ
CHECKED BY: BJ	DATE: 10-11-2024
IN CHARGE: Deilly E	REV.:

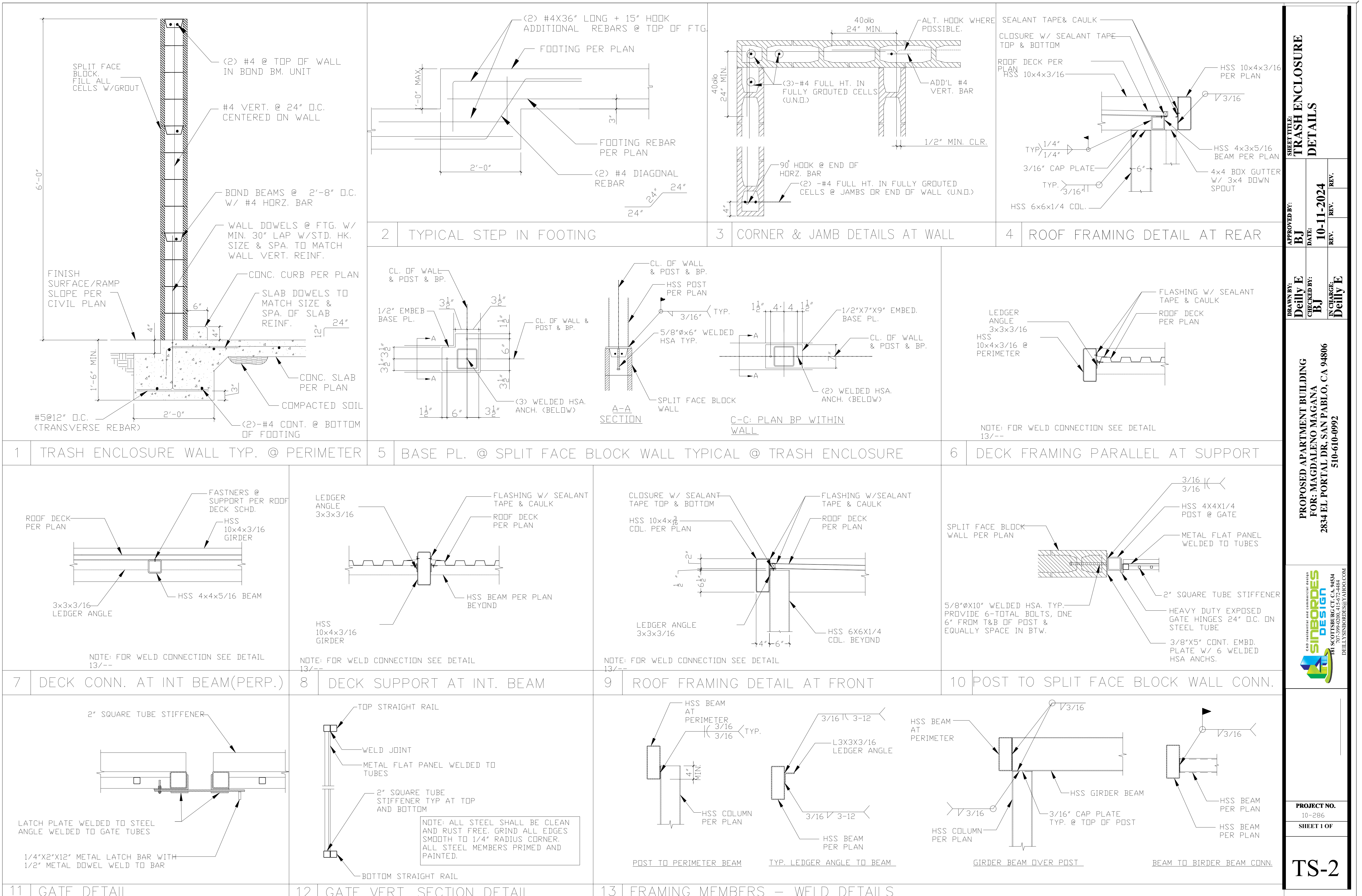
PROPOSED APARTMENT BUILDING
FOR: MAGDALENO MAGANA
2834 EL PORTAL DR. SAN PABLO, CA 94806
510-610-0992



PROJECT NO. 10-286

SHEET 1 OF

TS-1



SHEET TITLE:
**TRASH ENCLOSURE
 DETAILS**

APPROVED BY:
BJ
 DATE:
10-11-2024
 CHECKED BY:
BJ
 IN CHARGE:
Deilly E

PROPOSED APARTMENT BUILDING
 FOR: MAGDALENO MAGANA
 2834 EL PORTAL DR, SAN PABLO, CA 94806
 510-610-0992



PROJECT NO.
 10-286
 SHEET 1 OF

TS-2

GENERAL NOTES

- ALL DIMENSIONS ARE TO THE FACE OF THE EXTERIOR STUD.
 - SEE STRUCTURAL PLANS FOR ALL FRAMING DETAILS
 - SEE MECHANICAL PLANS FOR ALL MECHANICAL DETAILS AND SPECIFICATIONS.
 - SEE PLUMBING PLANS FOR ALL PLUMBING DETAILS AND SPECIFICATIONS.
 - SEE ELECTRICAL PLANS FOR ALL ELECTRICAL DETAILS AND SPECIFICATIONS.
- SEE INDIVIDUAL ENLARGED UNITS PLANS, ON SHEET A2.1, A2.2, A2.3 & A-2.4
- AUTOMATIC SPRINKLER SYSTEM FOR RESIDENTIAL OCCUPANCY SHALL COMPLY WITH CBC 2022 SECTION 903.3.1.2 (NFPA 13R) AND FOR COMMERCIAL OCCUPANCY COMPLY WITH CBC 2022 SECTION 903.3.1.1 (NFPA 13).
 - SMOKE DETECTION AND FIRE ALARM SYSTEM SHALL BE PROVIDED IN ACCORDANCE CBC 2022, SECTION 907, CFC 907.2 AND 907.3.
 - CARBON MONOXIDE DETECTION SYSTEM SHALL BE PROVIDED IN THE BUILDING SPACE CONTAINING FUEL BURNING APPLIANCES IN ACCORDANCE WITH CBC 2022, SECTION 420.6.
 - PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN ACCORDANCE WITH CBC 2022, SECTION 906.
 - CARD READERS AT MAIN ENTRY, MODEL AND LOCATION TO BE DETERMINED BY THE OWNER.
 - INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS IN ENCLOSURES FOR STAIRWAYS AND RAMPS, PASSAGEWAYS, CORRIDORS, AND ROOMS OR SPACES NOT SEPARATED FROM CORRIDORS BY PARTITIONS EXTENDING FROM FLOOR TO THE UNDERSIDE OF THE CEILING SHALL WITH STAND NOT LESS THEN CLASS II CRITICAL RADIANT FLUX IN GROUP R-2 OCCUPANCIES.
 - SINGLE OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED IN GROUP-R2 REGARDLESS OF OCC. LOAD.

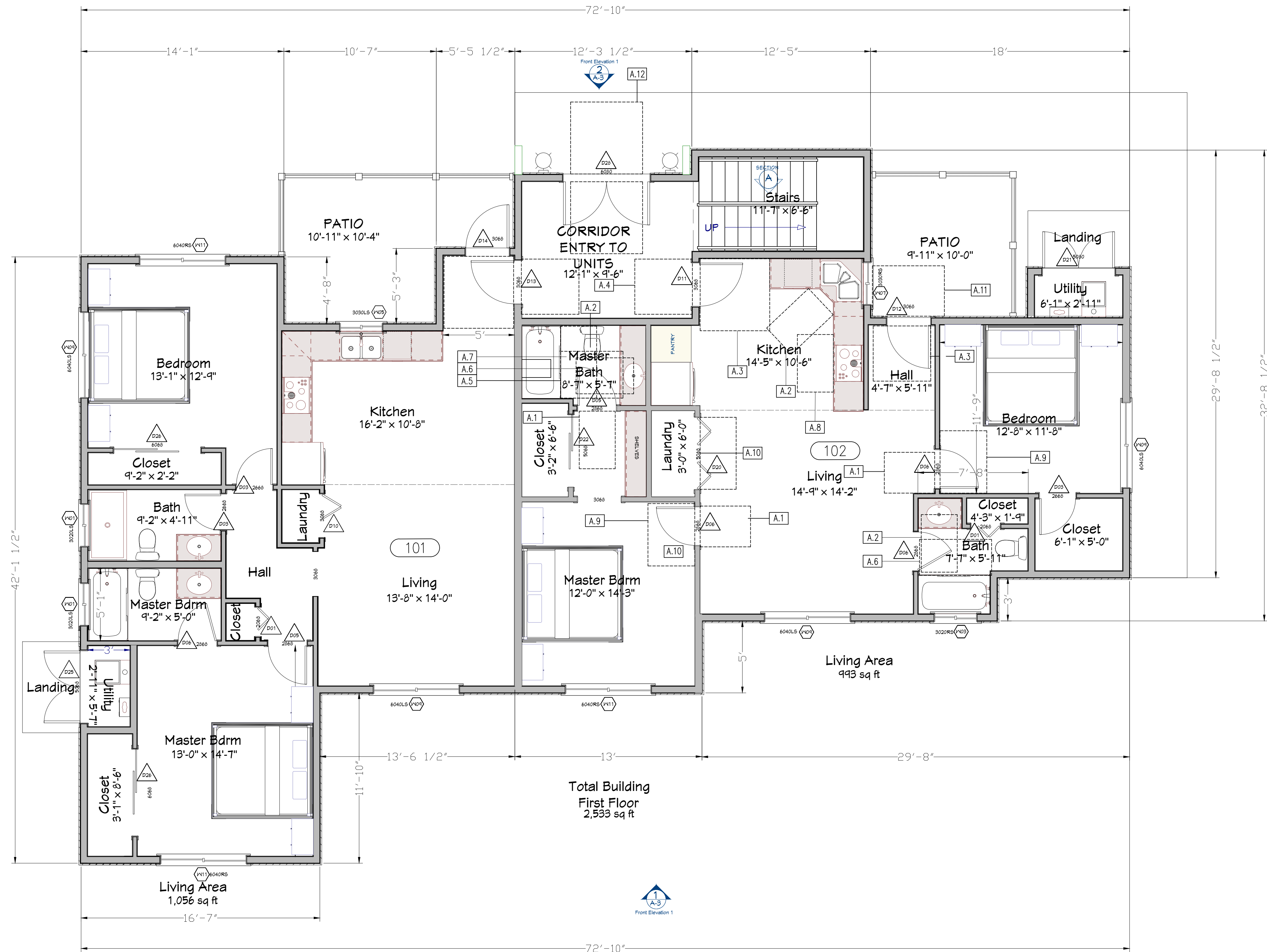
- WALL LEGEND**
- ONE HOUR RATED FIRE PARTITION WALL AT CORRIDOR. REFER DETAILS SHEET #
 - NON RATED INTERIOR WALL. REFER DETAIL # AND DETAIL #
 - NON BEARING WALL. REFER DETAIL #
 - ONE HOUR FIRE BARRIER. REFER DETAIL # AND DETAILS #
 - ONE HOUR FIRE BARRIER INTERIOR WALL. REFER DETAIL #
 - ONE HOUR RATED EXTERIOR WALL (RATING FROM INTERIOR AND EXTERIOR BOTH SIDES). REFER DETAIL

- LEGEND**
- DUCT PROVIDED FOR ELECTRICAL WIRING
 - FOR DOOR DETAILS, REFER SHEET
 - FOR WINDOW & STOREFRONT DETAILS, REFER SHEET

- OH- OVERHANG; REFER DETAIL #
- PROVIDE WET CLASS-1 STANDPIPE SYSTEM WITH 2 1/2" STAND PIPE PER CBC 2022 SECTION 905.1 THRU 905.1.1 AND THE NFPA 14 STANDARD PER FIRE DEPTT. APPROVAL.
 - FIRE EXTINGUISHER
PORTABLE FIRE EXTINGUISHERS SHALL HAVE A MINIMUM RATING OF 1A:10B:C WITH A K-TYPE EXTINGUISHER FOR THE KITCHEN AREA. (IBC 2022 SECTION 906.1)
 - P.H. - INDICATES PANIC HARDWARE REQUIRED MOUNT BETWEEN 34 INCHES & 44 INCHES ABOVE THE FINISH FLOOR.
 - DOORS TO REMAIN OPEN WHEN THE BUILDING IS OCCUPIED.

- SI - STAIRWAY IDENTIFICATION TACTILE SIGN.
- TE1- INDICATES TACTILE 'EXIT' SIGN
 - TE2- INDICATES TACTILE 'EXIT ROUTE' SIGN
 - TE3- INDICATES LOW LEVEL 'EXIT' SIGN
 - TE5- INDICATES LOW LEVEL 'EXIT ROUTE' SIGN (ILLUMINATED)
REFER TO SIGNAGE DETAILS ON SHEET #

- MO - MAXIMUM OCCUPANT LOAD SIGN.
THE SIGNS SHALL BE DURABLE, LEGIBLE & HAVE A CONTRASTING COLOR FROM THE BACKGROUND. THE SIGNS SHALL INDICATE THE NUMBER OF OCCUPANTS PERMITTED FOR EACH ROOM USE.



1 PROPOSED FIRST FLOOR
A-2 SCALE 1/4" = 1'-0"

SHEET TITLE:
PROPOSED FIRST FLOOR APARTMENTS

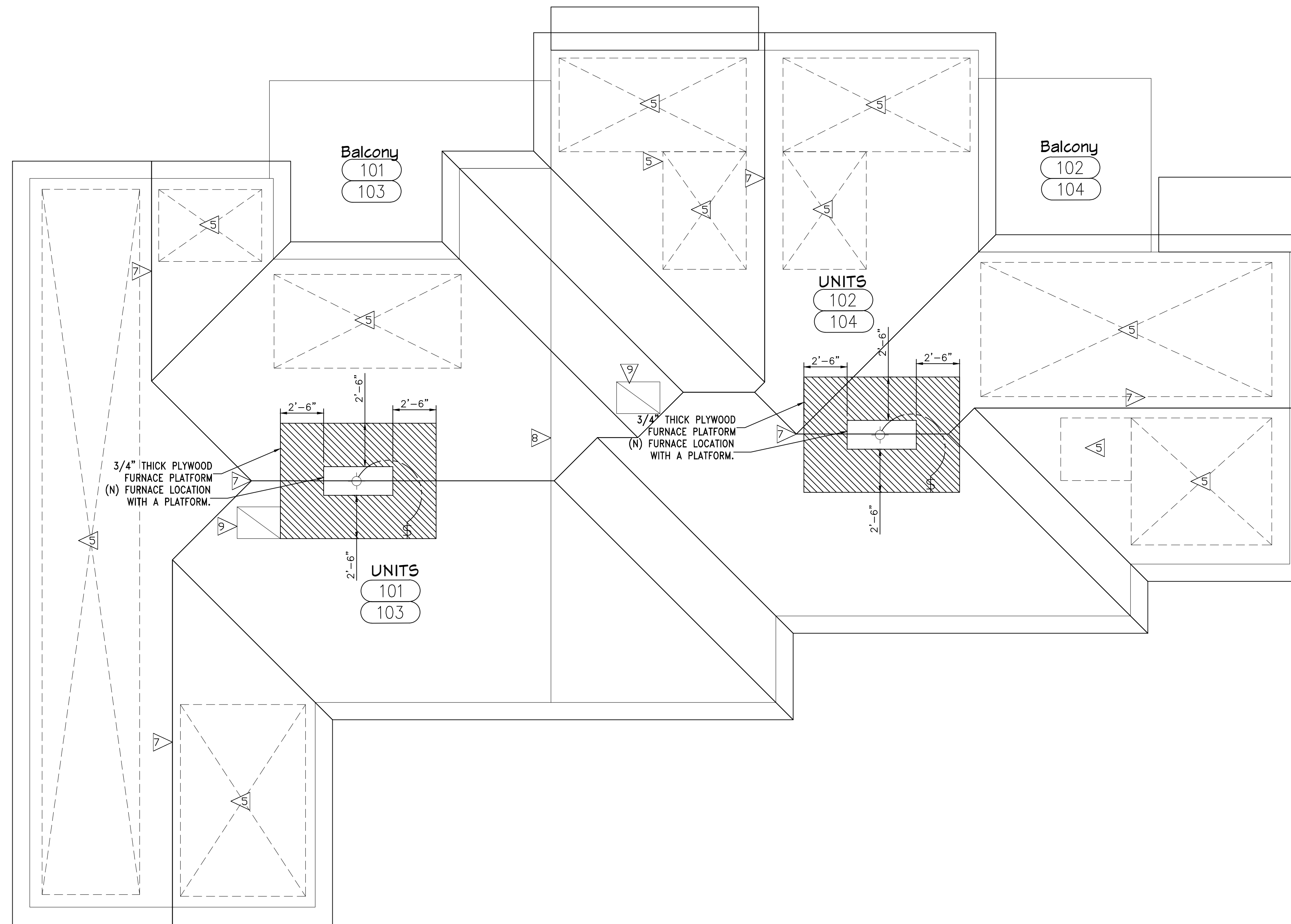
APPROVED BY: SM
DATE: 10-11-2024
DRAWN BY: Deilly E
CHECKED BY: SM
IN CHARGE: Deilly E

PROPOSED APARTMENT BUILDING
FOR: MAGDALENO MAGANA
2834 EL PORTAL DR, SAN PABLO, CA 94806
510-610-0992



SCALE: 1/4" = 1'-0"

A-2



SOLAR ZONE CALCULATIONS

TOTAL ROOF AREA = 2,200 S.F.
 SOLAR ZONE AREA REQUIRED = 15% OF 2,200 S.F.
 = 330 S.F.
 SOLAR ZONE AREA PROVIDED = 1,650 S.F. OF ROOF.

KEY NOTES

- ▽ LOWER LEVEL ROOF @ FIRST FLOOR. SLOPE AWAY FROM BUILDING.
- ▽ 3" ROOF DRAIN & OVER FLOW PIPE (TYP.)
- ▽ ROOF MATERIAL SINGLES TYPE 'A'
- ▽ PLATFORM FOR FUTURE HVAC UNITS. VERIFY W/MECHANICAL ENGINEERING DWG'S SOLAR ZONE.
- ▽ MECHANICAL UNITS. VERIFY W/MECHANICAL ENGINEERING DWG'S
- ▽ RIDGE LINE
- ▽ 1-HOUR FIRE RATED WALL IN BETWEEN UNITS
- ▽ 22'X30" ATTIC ACCESS

NOTE FOR GENERAL CONTRACTOR AND SPRINKLER CONTRACTOR:
 THE GENERAL CONTRACTOR AND THE SPRINKLER CONTRACTOR SHALL COORDINATE THE PROTECTION OF ROOF 'CRICKETS' OR OTHER CONCEALED COMBUSTIBLE SPACES (WHERE APPLICABLE).
 ROOFING KEYNOTE:
 ALL ROOFING TO USE TPO ROOFING SYSTEM. TO USE CARLISLE SURE-WELD TPO REINFORCED MEMBERANE ASTM STANDARD D6878.

SHEET TITLE:
**PROPOSED
 ROOF PLAN**

APPROVED BY:
BJ
 DATE:
10-11-2024

DRAWN BY:
Deilly E
 CHECKED BY:
BJ
 IN CHARGE:
Deilly E

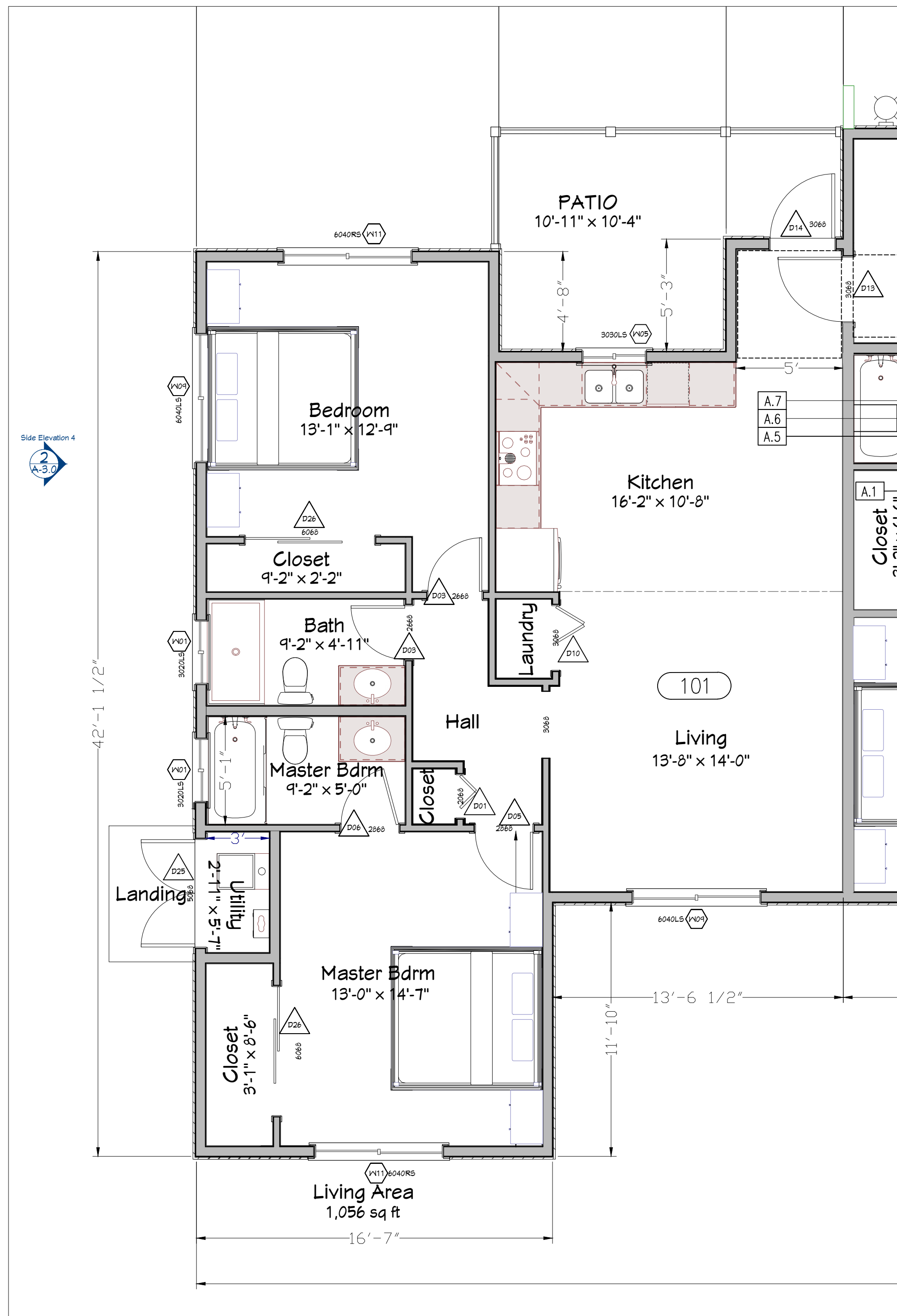
PROPOSED APARTMENT BUILDING
 FOR: MAGDALENO MAGANA
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 510-610-0992



1 PROPOSED ROOF PLAN
 A-2.01 SCALE 1/4"=1'-0"

SCALE: 1/4"=1'-0"

A2.01

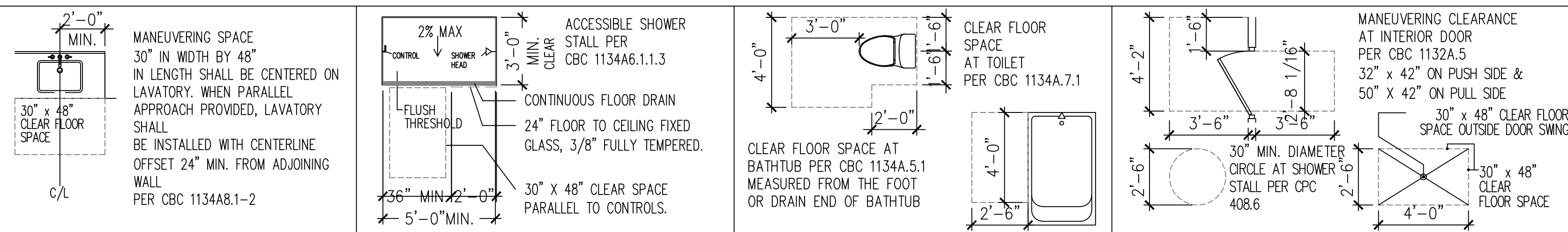


WALL / FLOOR LEGEND:

- WALL TYPE - SEE SHEET EXTERIOR WALL TYPES, SEE ENLARGED FLOOR PLANS THRU
- EXTERIOR WALL: 1 HOUR RATED, SEE ENLARGED FLOOR PLANS SHEET THRU
- COMMON WALL: 1 HOUR
- 1 HOUR RATED WALL
- NON RATED WALL
- PLUMBING WALL

1 PROPOSED UNIT 101 FIRST FLOOR
 A-2.1 SCALE 1/4" = 1'-0"

MANEUVERING SPACE LEGEND



KEYNOTES

- THESE KEYNOTES ARE FOR THIS SHEET ONLY.
- KITCHEN CORE LAYOUT/ELEVATIONS, SEE SHEET
 - FIXED WINDOW PANEL
 - 12" ALUMINUM VERTICAL SUNSHADE
 - 12" ALUMINUM HORIZONTAL SUNSHADE
 - EXHAUST VENT, SEE MECHANICAL DRAWINGS
 - INTAKE VENT, SEE MECHANICAL DRAWINGS
 - FAN COIL UNIT LOCATION, PROVIDE ACCESS PANEL IN CEILING
 - WALL MOUNTED DUCTLESS FAN COIL UNIT, SEE MECHANICAL DRAWINGS

RCP SYMBOL LEGEND

NOTE: ALL SPACES, UNITS, & FIXTURES, SHALL COMPLY WITH THE U. S. DEPARTMENT OF HOUSING FAIR HOUSING ACT AND C.B.C. CHAPTER 11A.

SYMBOL	ITEM
	5/8" GYPSUM BOARD CEILING +9'-0" TYPICAL CEILING HEIGHT
	5/8" GYPSUM BOARD CEILING +7'-10" DROP CEILING HEIGHT
	FINISH CEILING HEIGHT
	2'x4" RECESSED LED LIGHT FIXTURE, SEE ELECTRICAL
	2'x4" SURFACE LED LIGHT FIXTURE, SEE ELECTRICAL
	2'x2" RECESSED LED LIGHT FIXTURE, SEE ELECTRICAL
	2'x2" SURFACE LED LIGHT FIXTURE, SEE ELECTRICAL
	1'x4" RECESSED LED LIGHT FIXTURE, SEE ELECTRICAL
	1'x4" SURFACE LED LIGHT FIXTURE, SEE ELECTRICAL
	1'x4" SURFACE LED STRIP LIGHT FIXTURE, SEE ELECTRICAL
	RECESSED DOWNLIGHT FIXTURE, SEE ELECTRICAL
	SURFACE LED DOWNLIGHT FIXTURE, SEE ELECTRICAL
	SURFACE WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL
	OVERHEAD ONE WAY SIGNAGE
	OVERHEAD NON DIRECTIONAL SIGNAGE
	THERMOSTAT, SEE MECHANICAL DRAWINGS
	CEILING SUPPLY DIFFUSER
	CEILING RETURN AIR GRILLE
	EXHAUST VENT GRILLE
	SMOKE DETECTOR, SEE ELECTRICAL DRAWINGS
	CARBON MONOXIDE DETECTOR, SEE ELECTRICAL DRAWINGS
	OCCUPANCY SENOR, SEE ELECTRICAL DRAWINGS

SYMBOL ITEM

	KITCHEN SINK WITH DISPOSAL, SEE 7/A5.22
	DISHWASHER
	RANGE WITH MICROWAVE, HOOD AND EXHAUST
	REFRIGERATOR STUB OUT WATER LINE FOR ICE MAKER
	LAV IN VANITY - LAVATORY/VANITY WILL BE NO MORE THAN 24" DEEP.
	MEDICINE CABINET RECESSED, COORDINATE WITH SHEAR WALL LOCATIONS
	WATER CLOSET
	SHOWER, 24" WIDE TEMPERED FIXED 3/8" GLASS PANEL PER CBC 2406.3
	PRE-FAB FLAT PANEL 32"x60" SOAKING TUB/SHOWER UNIT
	FRONT LOAD STACKABLE WASHER AND DRYERS
	LAUNDRY SINK

- NOTE:
- BATHUB, SHOWER AND WATER CLOSET CONTROLS SHALL BE OPERABLE WITH ONE HAND; NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO OPERATE THE CONTROLS SHALL NOT EXCEED 5 LBS. COMPLY WITH CBC SECTIONS 1134A5.3, 1134A6.6 AND 1134A7.4
 - PER CBC 1209.2.3 SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE DRAIN INLET
 - ALL BATHTUB AND SHOWER GLASS ENCLOSURES TO BE 3/8" MIN. TEMPERED GLASS
 - ALL CLOSETS SEE DETAIL PER FLOOR PLANS
 - ASSISTED REACHING - GRABBER REACHER TOOL, 32" STEEL FOLDABLE PICK MODEL #BR_003 MANUFACTURER: LUXET

SHEET NOTES

- DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED.
- ALL WALLS AND WALL PENETRATIONS REQUIRED TO MEET STANDARDS OF CODE REPORT & REGULATORY AGENCIES.
- ALL CEILING ANCHORED/MOUNTED MECHANICAL, PLUMBING, ELECTRICAL, AND LIGHTING COMPONENTS ARE TO BE FIELD COORDINATED, TO MAXIMIZE VERTICAL CLEARANCE.
- ALL EXPOSED SURFACES ARE TO BE PREPPED AND FINISH PAINTED, UNLESS OTHERWISE NOTED.
- ALL EXPOSED CONDUIT, PIPING, PLUMBING, EQUIPMENT, AND ANCHORAGE MOUNTS ARE TO BE PAINTED TO MATCH ADJACENT SURFACE COLOR, UNLESS OTHERWISE NOTED.
- FIRE DAMPERS, SMOKE DAMPERS, FIRE RATED SEALANT, FIRE RATED INFILL, SMOKE SEPARATION IS REQUIRED AT OCCUPANCY SEPARATIONS, PER CBC.
- ALL JAMB DIMENSIONS ARE 4" AWAY FROM PERPENDICULAR WALL, TYPICAL UNLESS OTHERWISE NOTED.
- FOR TYPICAL UL RATED PENETRATIONS DETAILS. CONTRACTOR TO PROVIDE CONTINUOUS FLUSH WALL FINISH AT BOTH EXTERIOR AND INTERIOR WALL SURFACES THROUGHOUT.
- ALL JOIST BAYS REQUIRED FOR MECHANICAL, DUCTS ARE TO BE CONSISTING OF (2) LAYERS OF 5/8" GYPSUM BOARD, LINED A FIRE RATED APPROVED ASSEMBLY.
- ALL PENETRATIONS INTO RATED ASSEMBLY CEILING ARE TO BE LINED WITH (2) LAYERS OF 5/8" GYPSUM BOARD SURROUNDING PENETRATIONS, THIS INCLUDES RECESSED LIGHTING & EQUIPMENT.
- FRAMING CONTRACTOR TO SUPPLY AND INSTALL BACKING AT ALL WALL-MOUNTED CABINETS, ACCESSORIES, ETC., AND COORDINATE WITH SUPPLIERS FOR BACKING REQUIREMENTS.
- PROVIDE WATER-RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS.
- FIRE STOP ALL PENETRATIONS IN 1-HOUR ASSEMBLIES & MEMBRANES, PER APPROPRIATE DETAILS.

RCP SHEET NOTES

- REFER TO ELECTRICAL PLANS FOR ALL EXIT SIGNAGE, EMERGENCY LIGHTING, FIRE ALARM, NOTES, FIXTURE TYPES, SPECS AND DETAILS.
- REFER TO MECHANICAL PLANS FOR RETURN AND SUPPLY REGISTER LOCATION.
- CEILING HEIGHT DIMENSION ARE FROM PLATE HEIGHT OF SOFFIT OR CEILING TO GYPCRETE BELOW.
- TYPICAL AT ALL FOURTH FLOOR APARTMENT UNITS NO DROP SOFFITS REQUIRED.

SHEET TITLE:
PROPOSED ENLARGED APARTMENTS #101

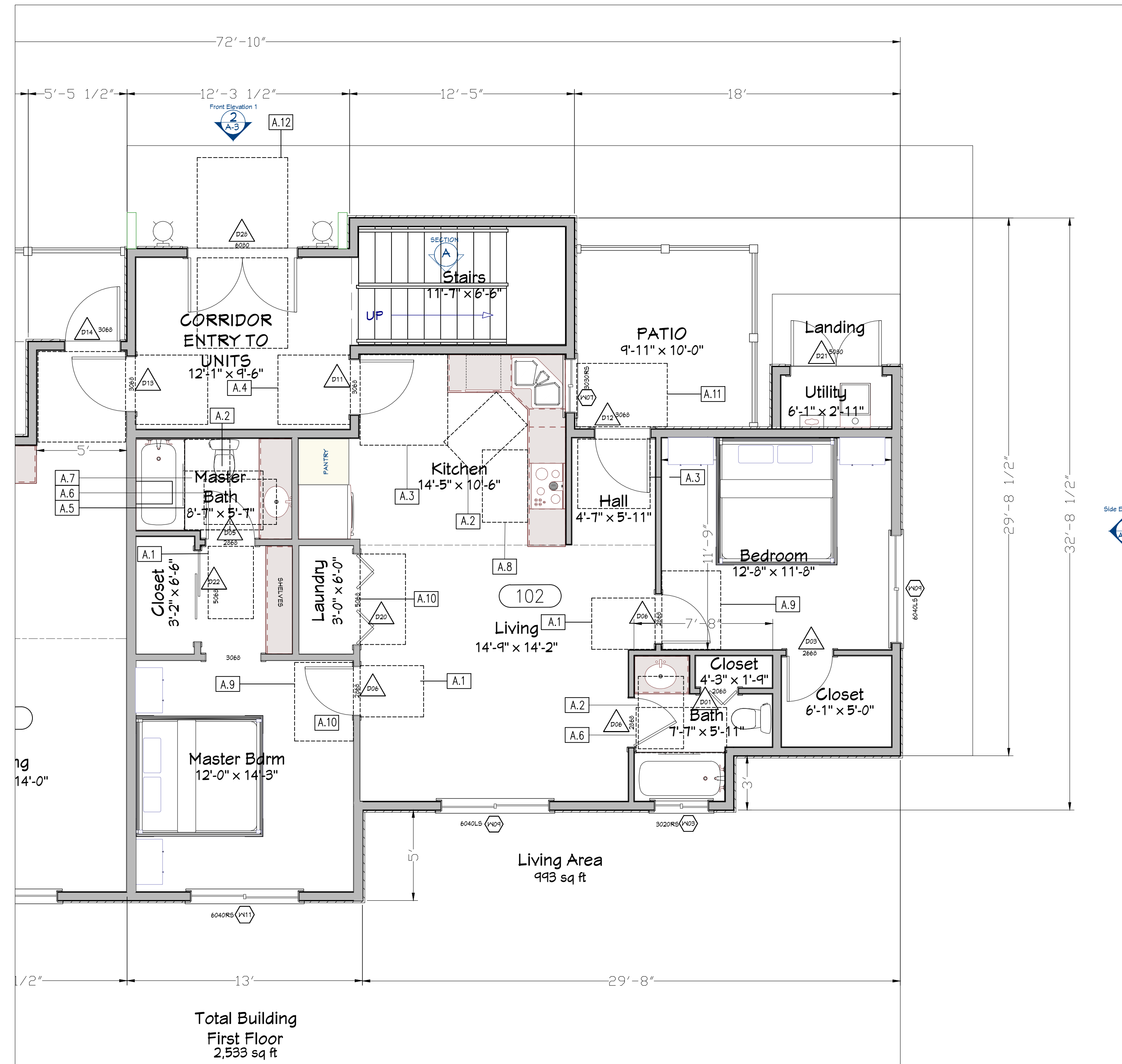
APPROVED BY: **SM** DATE: **01-07-2025**
 DRAWN BY: **Deilly E** CHECKED BY: **SM** REV. REV.
 IN CHARGE: **Deilly E** REV. REV.

PROPOSED APARTMENT BUILDING
 FOR: MAGDALENO MAGANA
 2834 EL PORTAL DR, SAN PABLO, CA 94806
 510-610-0992



SCALE: 1/4" = 1'-0"

A-2.1



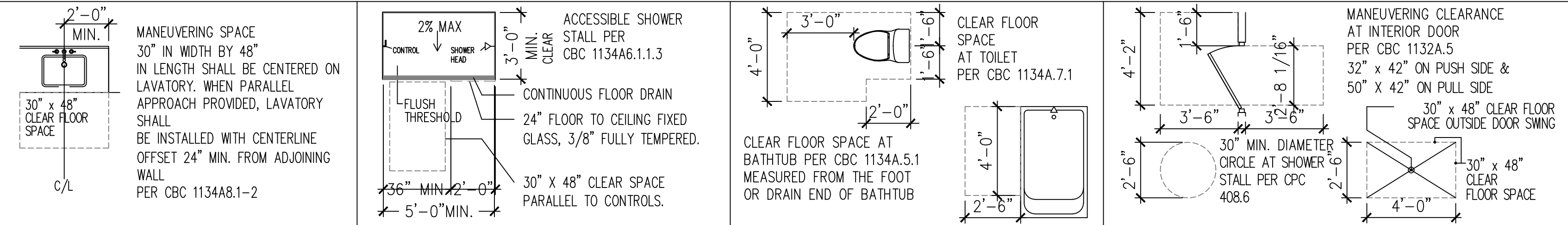
Total Building
First Floor
2,533 sq ft

1 PROPOSED UNIT 102 FIRST FLOOR & (CORRIDOR ENTRY TO UNITS)
A-2.2 SCALE 1/4" = 1'-0"

WALL / FLOOR LEGEND:

- WALL TYPE - SEE SHEET ENLARGED FLOOR PLANS THRU
- EXTERIOR WALL: 1 HOUR RATED, SEE ENLARGED FLOOR PLANS SHEET THRU
- COMMON WALL: 1 HOUR
- 1 HOUR RATED WALL
- NON RATED WALL
- PLUMBING WALL

MANEUVERING SPACE LEGEND



KEYNOTES	SYMBOL	ITEM
1. KITCHEN CORE LAYOUT/ELEVATIONS, SEE SHEET		KITCHEN SINK WITH DISPOSAL, SEE 7/A5.22
2. FIXED WINDOW PANEL		DISHWASHER
3. 12" ALUMINUM VERTICAL SUNSHADE		RANGE WITH MICROWAVE, HOOD AND EXHAUST
4. 12" ALUMINUM HORIZONTAL SUNSHADE		REFRIGERATOR STUB OUT WATER LINE FOR ICE MAKER
5. EXHAUST VENT, SEE MECHANICAL DRAWINGS		LAV IN VANITY - LAVATORY/VANITY WILL BE NO MORE THAN 24" DEEP.
6. INTAKE VENT, SEE MECHANICAL DRAWINGS		MEDICINE CABINET RECESSED, COORDINATE WITH SHEAR WALL LOCATIONS
7. FAN COIL UNIT LOCATION, PROVIDE ACCESS PANEL IN CEILING		WATER CLOSET
8. WALL MOUNTED DUCTLESS FAN COIL UNIT, SEE MECHANICAL DRAWINGS		SHOWER, 24" WIDE TEMPERED FIXED 3/8" GLASS PANEL PER CBC 2406.3

RCP SYMBOL LEGEND

NOTE: ALL SPACES, UNITS, & FIXTURES, SHALL COMPLY WITH THE U. S. DEPARTMENT OF HOUSING FAIR HOUSING ACT AND C.B.C. CHAPTER 11A.

SYMBOL	ITEM
	5/8" GYPSUM BOARD CEILING (+9'-0") TYPICAL CEILING HEIGHT
	5/8" GYPSUM BOARD CEILING (+7'-10") DROP CEILING HEIGHT
	FINISH CEILING HEIGHT
	2'x4' RECESSED LED LIGHT FIXTURE, SEE ELECTRICAL
	2'x4' SURFACE LED LIGHT FIXTURE, SEE ELECTRICAL
	2'x2' RECESSED LED LIGHT FIXTURE, SEE ELECTRICAL
	2'x2' SURFACE LED LIGHT FIXTURE, SEE ELECTRICAL
	1'x4' RECESSED LED LIGHT FIXTURE, SEE ELECTRICAL
	1'x4' SURFACE LED LIGHT FIXTURE, SEE ELECTRICAL
	1'x4' SURFACE LED STRIP LIGHT FIXTURE, SEE ELECTRICAL
	RECESSED DOWNLIGHT FIXTURE, SEE ELECTRICAL
	SURFACE LED DOWNLIGHT FIXTURE, SEE ELECTRICAL
	SURFACE WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL
	OVERHEAD ONE WAY SIGNAGE
	OVERHEAD NON DIRECTIONAL SIGNAGE
	THERMOSTAT, SEE MECHANICAL DRAWINGS
	CEILING SUPPLY DIFFUSER
	CEILING RETURN AIR GRILLE
	EXHAUST VENT GRILLE
	SMOKE DETECTOR, SEE ELECTRICAL DRAWINGS
	CARBON MONOXIDE DETECTOR, SEE ELECTRICAL DRAWINGS
	OCCUPANCY SENSOR, SEE ELECTRICAL DRAWINGS

SYMBOL	ITEM
	KITCHEN SINK WITH DISPOSAL, SEE 7/A5.22
	DISHWASHER
	RANGE WITH MICROWAVE, HOOD AND EXHAUST
	REFRIGERATOR STUB OUT WATER LINE FOR ICE MAKER
	LAV IN VANITY - LAVATORY/VANITY WILL BE NO MORE THAN 24" DEEP.
	MEDICINE CABINET RECESSED, COORDINATE WITH SHEAR WALL LOCATIONS
	WATER CLOSET
	SHOWER, 24" WIDE TEMPERED FIXED 3/8" GLASS PANEL PER CBC 2406.3
	PRE-FAB FLAT PANEL 32"x60" SOAKING TUB/SHOWER UNIT
	FRONT LOAD STACKABLE WASHER AND DRYERS
	LAUNDRY SINK

- NOTE:
- BATHTUB, SHOWER AND WATER CLOSET CONTROLS SHALL BE OPERABLE WITH ONE HAND; NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO OPERATE THE CONTROLS SHALL NOT EXCEED 5 LBS. COMPLY WITH CBC SECTIONS 1134A5.3, 1134A6.6 AND 1134A7.4
 - PER CBC 1209.2.3 SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE DRAIN INLET
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 - ASSISTED REACHING - GRABBER REACHER TOOL, 32" STEEL FOLDABLE PICK MODEL #BR_003 MANUFACTURER: LUXET

SHEET NOTES

1. DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED.
2. ALL WALLS AND WALL PENETRATIONS REQUIRED TO MEET STANDARDS OF CODE REPORT & REGULATORY AGENCIES.
3. ALL CEILING ANCHORED/MOUNTED MECHANICAL, PLUMBING, ELECTRICAL, AND LIGHTING COMPONENTS ARE TO BE FIELD COORDINATED, TO MAXIMIZE VERTICAL CLEARANCE.
4. ALL EXPOSED SURFACES ARE TO BE PREPPED AND FINISH PAINTED, UNLESS OTHERWISE NOTED.
5. ALL EXPOSED CONDUIT, PIPING, PLUMBING, EQUIPMENT, AND ANCHORAGE MOUNTS ARE TO BE PAINTED TO MATCH ADJACENT SURFACE COLOR, UNLESS OTHERWISE NOTED.
6. FIRE DAMPERS, SMOKE DAMPERS, FIRE RATED SEALANT, FIRE RATED INFILL, SMOKE SEPARATION IS REQUIRED AT OCCUPANCY SEPARATIONS, PER CBC.
7. ALL JAMB DIMENSIONS ARE 4" AWAY FROM PERPENDICULAR WALL, TYPICAL UNLESS OTHERWISE NOTED.
8. FOR TYPICAL UL RATED PENETRATIONS DETAILS. CONTRACTOR TO PROVIDE CONTINUOUS FLUSH WALL FINISH AT BOTH EXTERIOR AND INTERIOR WALL SURFACES THROUGHOUT.
9. ALL JOIST BAYS REQUIRED FOR MECHANICAL, DUCTS ARE TO BE CONSISTING OF (2) LAYERS OF 5/8" GYPSUM BOARD, LINED A FIRE RATED APPROVED ASSEMBLY.
10. ALL PENETRATIONS INTO RATED ASSEMBLY CEILING ARE TO BE LINED WITH (2) LAYERS OF 5/8" GYPSUM BOARD SURROUNDING PENETRATIONS, THIS INCLUDES RECESSED LIGHTING & EQUIPMENT.
11. PROVIDE WATER-RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS.
12. FRAMING CONTRACTOR TO SUPPLY AND INSTALL BACKING AT ALL WALL-MOUNTED CABINETS, ACCESSORIES, ETC., AND COORDINATE WITH SUPPLIERS FOR BACKING REQUIREMENTS.
13. PROVIDE WATER-RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS.
14. FIRE STOP ALL PENETRATIONS IN 1-HOUR ASSEMBLIES & MEMBRANES, PER APPROPRIATE DETAILS.

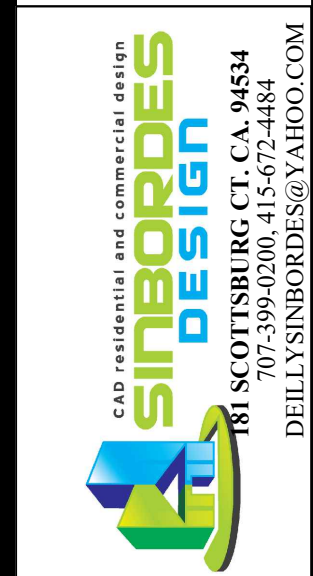
RCP SHEET NOTES

1. REFER TO ELECTRICAL PLANS FOR ALL EXIT SIGNAGE, EMERGENCY LIGHTING, FIRE ALARM, NOTES, FIXTURE TYPES, SPECS AND DETAILS.
2. REFER TO MECHANICAL PLANS FOR RETURN AND SUPPLY REGISTER LOCATION.
3. CEILING HEIGHT DIMENSION ARE FROM PLATE HEIGHT OF SOFFIT OR CEILING TO GYPCRETE BELOW.
4. TYPICAL AT ALL FOURTH FLOOR APARTMENT UNITS NO DROP SOFFITS REQUIRED.

SHEET TITLE:
PROPOSED ENLARGED APARTMENTS #102 & LAUNDRY ROOM 106

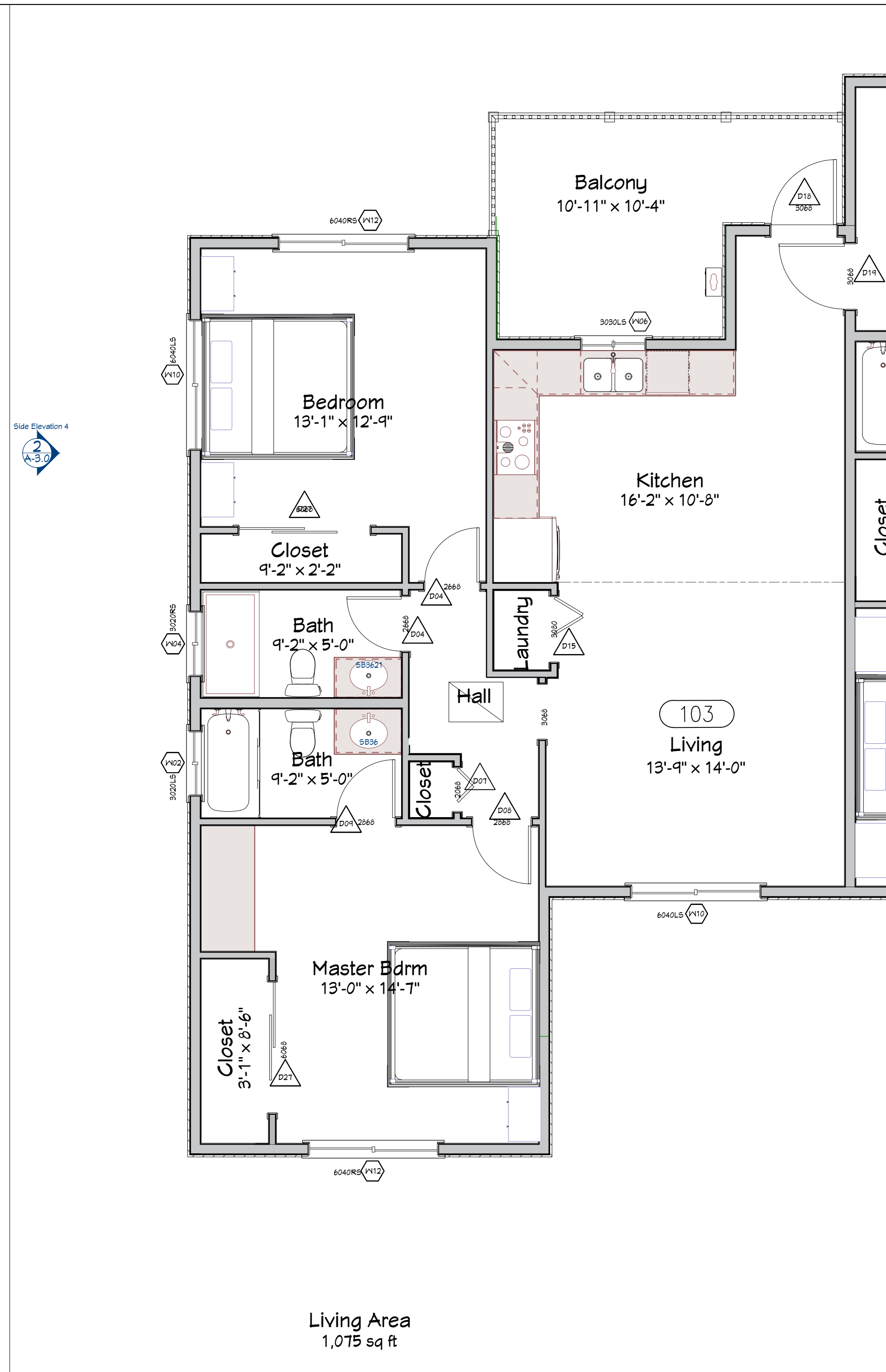
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IN CHARGE: **Deilly E**

PROPOSED APARTMENT BUILDING
FOR: MAGDALENO MAGANA
2834 EL PORTAL DR, SAN PABLO, CA 94806
510-610-0992



SCALE: 1/4" = 1'-0"

A-2.2

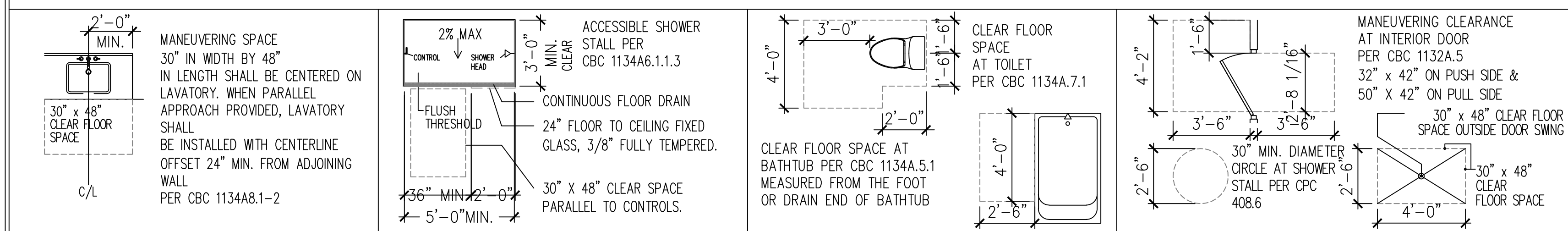


WALL / FLOOR LEGEND:

- # WALL TYPE - SEE SHEET EXTERIOR WALL TYPES, SEE ENLARGED FLOOR PLANS THRU
- █ EXTERIOR WALL: 1 HOUR RATED, SEE ENLARGED FLOOR PLANS SHEET THRU
- █ COMMON WALL: 1 HOUR
- █ 1 HOUR RATED WALL
- █ NON RATED WALL
- █ PLUMBING WALL

1 PROPOSED 2ND FLOOR UNIT 103
A-2.3 SCALE 1/4" = 1'-0"

MANEUVERING SPACE LEGEND



KEYNOTES	SYMBOL	ITEM
THESE KEYNOTES ARE FOR THIS SHEET ONLY. 1. KITCHEN CORE LAYOUT/ELEVATIONS, SEE SHEET 2. FIXED WINDOW PANEL 3. 12" ALUMINUM VERTICAL SUNSHADE 4. 12" ALUMINUM HORIZONTAL SUNSHADE 5. EXHAUST VENT, SEE MECHANICAL DRAWINGS 6. INTAKE VENT, SEE MECHANICAL DRAWINGS 7. FAN COIL UNIT LOCATION, PROVIDE ACCESS PANEL IN CEILING 8. WALL MOUNTED DUCTLESS FAN COIL UNIT, SEE MECHANICAL DRAWINGS		KITCHEN SINK WITH DISPOSAL, SEE 7/A5.22
		DISHWASHER
		RANGE WITH MICROWAVE, HOOD AND EXHAUST
		REFRIGERATOR STUB OUT WATER LINE FOR ICE MAKER
		LAV IN VANITY - LAVATORY/VANITY WILL BE NO MORE THAN 24" DEEP.
		MEDICINE CABINET RECESSED, COORDINATE WITH SHEAR WALL LOCATIONS
		WATER CLOSET
		SHOWER, 24" WIDE TEMPERED FIXED 3/8" GLASS PANEL PER CBC 2406.3
		PRE-FAB FLAT PANEL 32"x60" SOAKING TUB/SHOWER UNIT
		FRONT LOAD STACKABLE WASHER AND DRYERS
		LAUNDRY SINK

RCP SYMBOL LEGEND

NOTE: ALL SPACES, UNITS, & FIXTURES, SHALL COMPLY WITH THE U. S. DEPARTMENT OF HOUSING FAIR HOUSING ACT AND C.B.C. CHAPTER 11A.

SYMBOL	ITEM
	5/8" GYPSUM BOARD CEILING (+9'-0") TYPICAL CEILING HEIGHT
	5/8" GYPSUM BOARD CEILING (+7'-10") DROP CEILING HEIGHT
	FINISH CEILING HEIGHT
	2'x4' RECESSED LED LIGHT FIXTURE, SEE ELECTRICAL
	2'x4' SURFACE LED LIGHT FIXTURE, SEE ELECTRICAL
	2'x2' RECESSED LED LIGHT FIXTURE, SEE ELECTRICAL
	2'x2' SURFACE LED LIGHT FIXTURE, SEE ELECTRICAL
	1'x4' RECESSED LED LIGHT FIXTURE, SEE ELECTRICAL
	1'x4' SURFACE LED LIGHT FIXTURE, SEE ELECTRICAL
	1'x4' SURFACE LED STRIP LIGHT FIXTURE, SEE ELECTRICAL
	RECESSED DOWNLIGHT FIXTURE, SEE ELECTRICAL
	SURFACE LED DOWLIGHT FIXTURE, SEE ELECTRICAL
	SURFACE WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL
	OVERHEAD ONE WAY SIGNAGE
	OVERHEAD NON DIRECTIONAL SIGNAGE
	THERMOSTAT, SEE MECHANICAL DRAWINGS
	CEILING SUPPLY DIFFUSER
	CEILING RETURN AIR GRILLE
	EXHAUST VENT GRILLE
	SMOKE DETECTOR, SEE ELECTRICAL DRAWINGS
	CARBON MONOXIDE DETECTOR, SEE ELECTRICAL DRAWINGS
	OCCUPANCY SENOR, SEE ELECTRICAL DRAWINGS

- NOTE:
- BATHTUB, SHOWER AND WATER CLOSET CONTROLS SHALL BE OPERABLE WITH ONE HAND; NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO OPERATE THE CONTROLS SHALL NOT EXCEED 5 LBS. COMPLY WITH CBC SECTIONS 1134A5.3, 1134A6.6 AND 1134A7.4
 - PER CBC 1209.2.3 SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE DRAIN INLET
 - ALL BATHTUB AND SHOWER GLASS ENCLOSURES TO BE 3/8" MIN. TEMPERED GLASS
 - ALL CLOSETS SEE DETAIL PER FLOOR PLANS
 - ASSISTED REACHING - GRABBER REACHER TOOL, 32" STEEL FOLDABLE PICK MODEL #BR_003 MANUFACTURER: LUXET

SHEET NOTES

1. DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED.
2. ALL WALLS AND WALL PENETRATIONS REQUIRED TO MEET STANDARDS OF CODE REPORT & REGULATORY AGENCIES.
3. ALL CEILING ANCHORED/MOUNTED MECHANICAL, PLUMBING, ELECTRICAL, AND LIGHTING COMPONENTS ARE TO BE FIELD COORDINATED, TO MAXIMIZE VERTICAL CLEARANCE.
4. ALL EXPOSED SURFACES ARE TO BE PREPPED AND FINISH PAINTED, UNLESS OTHERWISE NOTED.
5. ALL EXPOSED CONDUIT, PIPING, PLUMBING, EQUIPMENT, AND ANCHORAGE MOUNTS ARE TO BE PAINTED TO MATCH ADJACENT SURFACE COLOR, UNLESS OTHERWISE NOTED.
6. FIRE DAMPERS, SMOKE DAMPERS, FIRE RATED SEALANT, FIRE RATED INFILL, SMOKE SEPARATION IS REQUIRED AT OCCUPANCY SEPARATIONS, PER CBC.
7. ALL JAMB DIMENSIONS ARE 4" AWAY FROM PERPENDICULAR WALL, TYPICAL UNLESS OTHERWISE NOTED.
8. FOR TYPICAL UL RATED PENETRATIONS DETAILS.
9. CONTRACTOR TO PROVIDE CONTINUOUS FLUSH WALL FINISH AT BOTH EXTERIOR AND INTERIOR WALL SURFACES THROUGHOUT.
10. ALL JOIST BAYS REQUIRED FOR MECHANICAL, DUCTS ARE TO BE CONSISTING OF (2) LAYERS OF 5/8" GYPSUM BOARD, LINED A FIRE RATED APPROVED ASSEMBLY.
11. ALL PENETRATIONS INTO RATED ASSEMBLY CEILING ARE TO BE LINED WITH (2) LAYERS OF 5/8" GYPSUM BOARD SURROUNDING PENETRATIONS, THIS INCLUDES RECESSED LIGHTING & EQUIPMENT.
12. FRAMING CONTRACTOR TO SUPPLY AND INSTALL BACKING AT ALL WALL-MOUNTED CABINETS, ACCESSORIES, ETC., AND COORDINATE WITH SUPPLIERS FOR BACKING REQUIREMENTS.
13. PROVIDE WATER-RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS.
14. FIRE STOP ALL PENETRATIONS IN 1-HOUR ASSEMBLIES & MEMBRANES, PER APPROPRIATE DETAILS.

RCP SHEET NOTES

1. REFER TO ELECTRICAL PLANS FOR ALL EXIT SIGNAGE, EMERGENCY LIGHTING, FIRE ALARM, NOTES, FIXTURE TYPES, SPECS AND DETAILS.
2. REFER TO MECHANICAL PLANS FOR RETURN AND SUPPLY REGISTER LOCATION.
3. CEILING HEIGHT DIMENSION ARE FROM PLATE HEIGHT OF SOFFIT OR CEILING TO GYPCRETE BELOW.
4. TYPICAL AT ALL FOURTH FLOOR APARTMENT UNITS NO DROP SOFFITS REQUIRED.

SHEET TITLE:
PROPOSED 2ND FLOOR APARTMENTS #103

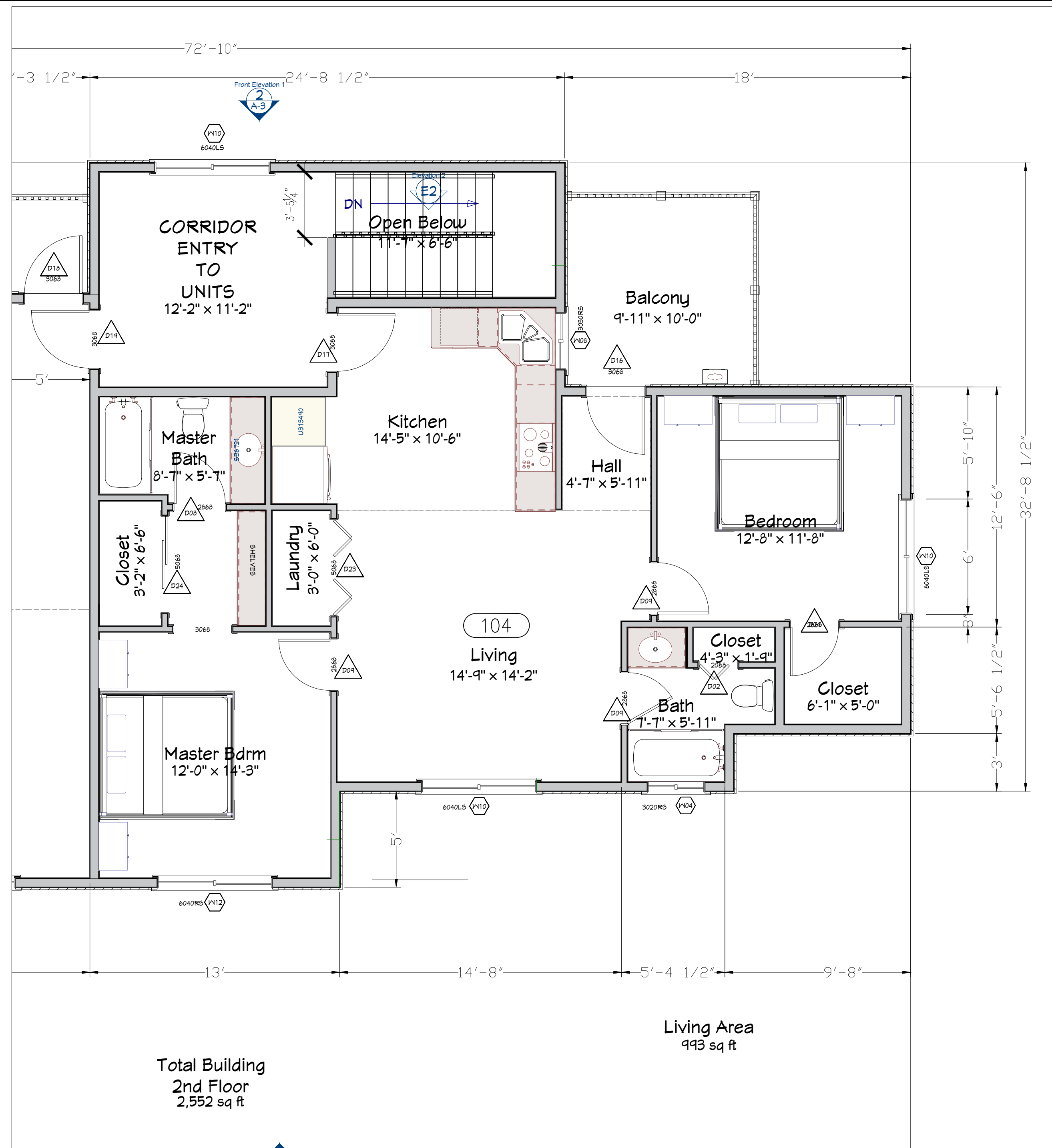
APPROVED BY: **BJ** DATE: **10-11-2024**
DRAWN BY: **Deilly E** CHECKED BY: **BJ** REV. REV.
IN CHARGE: **Deilly E**

PROPOSED APARTMENT BUILDING
FOR: MAGDALENO MAGANA
2834 EL PORTAL DR. SAN PABLO, CA 94806
510-610-0992



SCALE: 1/4" = 1'-0"

A-2.3

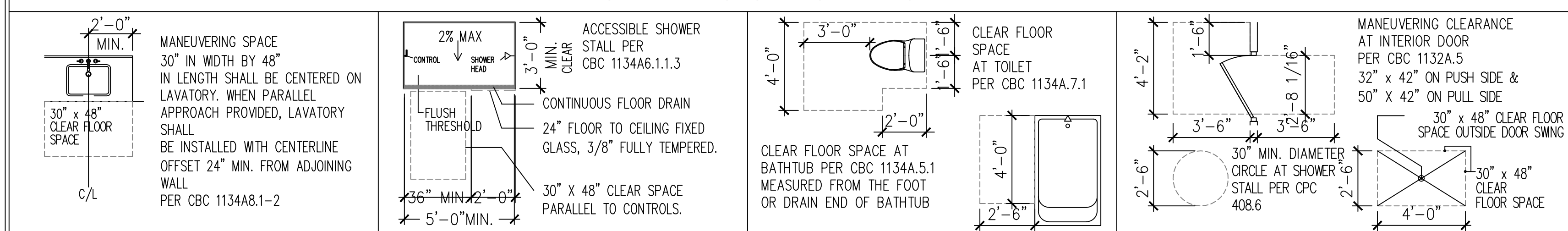


WALL / FLOOR LEGEND:

- # WALL TYPE - SEE SHEET EXTERIOR WALL TYPES, SEE ENLARGED FLOOR PLANS THRU
- EXTERIOR WALL: 1 HOUR RATED, SEE ENLARGED FLOOR PLANS SHEET THRU
- COMMON WALL: 1 HOUR
- 1 HOUR RATED WALL
- NON RATED WALL
- PLUMBING WALL

2 PROPOSED UNIT 104 2ND FLOOR
A-2.4 SCALE 1/4" = 1'-0"

MANEUVERING SPACE LEGEND



KEYNOTES	
THESE KEYNOTES ARE FOR THIS SHEET ONLY.	
1. KITCHEN CORE LAYOUT/ELEVATIONS, SEE SHEET	
2. FIXED WINDOW PANEL	
3. 12" ALUMINUM VERTICAL SUNSHADE	
4. 12" ALUMINUM HORIZONTAL SUNSHADE	
5. EXHAUST VENT, SEE MECHANICAL DRAWINGS	
6. INTAKE VENT, SEE MECHANICAL DRAWINGS	
7. FAN COIL UNIT LOCATION, PROVIDE ACCESS PANEL IN CEILING	
8. WALL MOUNTED DUCTLESS FAN COIL UNIT, SEE MECHANICAL DRAWINGS	

RCP SYMBOL LEGEND	
NOTE: ALL SPACES, UNITS, & FIXTURES, SHALL COMPLY WITH THE U. S. DEPARTMENT OF HOUSING FAIR HOUSING ACT AND C.B.C. CHAPTER 11A.	
SYMBOL	ITEM

[Symbol]	5/8" GYPSUM BOARD CEILING +9'-0" TYPICAL CEILING HEIGHT
[Symbol]	5/8" GYPSUM BOARD CEILING +7'-10" DROP CEILING HEIGHT
[Symbol]	FINISH CEILING HEIGHT
[Symbol]	2'x4' RECESSED LED LIGHT FIXTURE, SEE ELECTRICAL
[Symbol]	2'x4' SURFACE LED LIGHT FIXTURE, SEE ELECTRICAL
[Symbol]	2'x2' RECESSED LED LIGHT FIXTURE, SEE ELECTRICAL
[Symbol]	2'x2' SURFACE LED LIGHT FIXTURE, SEE ELECTRICAL
[Symbol]	1'x4' RECESSED LED LIGHT FIXTURE, SEE ELECTRICAL
[Symbol]	1'x4' SURFACE LED LIGHT FIXTURE, SEE ELECTRICAL
[Symbol]	1'x4' SURFACE LED STRIP LIGHT FIXTURE, SEE ELECTRICAL
[Symbol]	RECESSED DOWNLIGHT FIXTURE, SEE ELECTRICAL
[Symbol]	SURFACE LED DOWNLIGHT FIXTURE, SEE ELECTRICAL
[Symbol]	SURFACE WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL
[Symbol]	OVERHEAD ONE WAY SIGNAGE
[Symbol]	OVERHEAD NON DIRECTIONAL SIGNAGE
[Symbol]	THERMOSTAT, SEE MECHANICAL DRAWINGS
[Symbol]	CEILING SUPPLY DIFFUSER
[Symbol]	CEILING RETURN AIR GRILLE
[Symbol]	EXHAUST VENT GRILLE
[Symbol]	SMOKE DETECTOR, SEE ELECTRICAL DRAWINGS
[Symbol]	CARBON MONOXIDE DETECTOR, SEE ELECTRICAL DRAWINGS
[Symbol]	OCCUPANCY SENOR, SEE ELECTRICAL DRAWINGS

SYMBOL	ITEM
[Symbol]	KITCHEN SINK WITH DISPOSAL, SEE 7/A5.22
[Symbol]	DISHWASHER
[Symbol]	RANGE WITH MICROWAVE, HOOD AND EXHAUST
[Symbol]	REFRIGERATOR STUB OUT WATER LINE FOR ICE MAKER
[Symbol]	LAV IN VANITY - LAVATORY/VANITY WILL BE NO MORE THAN 24" DEEP.
[Symbol]	MEDICINE CABINET RECESSED, COORDINATE WITH SHEAR WALL LOCATIONS
[Symbol]	WATER CLOSET
[Symbol]	SHOWER, 24" WIDE TEMPERED FIXED 3/8" GLASS PANEL PER CBC 2406.3
[Symbol]	PRE-FAB FLAT PANEL 32"x60" SOAKING TUB/SHOWER UNIT
[Symbol]	FRONT LOAD STACKABLE WASHER AND DRYERS
[Symbol]	LAUNDRY SINK

- NOTE:
- BATHTUB, SHOWER AND WATER CLOSET CONTROLS SHALL BE OPERABLE WITH ONE HAND; NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO OPERATE THE CONTROLS SHALL NOT EXCEED 5 LBS. COMPLY WITH CBC SECTIONS 1134A5.3, 1134A6.6 AND 1134A7.4
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 - ASSISTED REACHING - GRABBER REACHER TOOL, 32" STEEL FOLDABLE PICK MODEL #BR_003 MANUFACTURER: LUXET

SHEET NOTES

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- FOR TYPICAL UL RATED PENETRATIONS DETAILS.
- CONTRACTOR TO PROVIDE CONTINUOUS FLUSH WALL FINISH AT BOTH EXTERIOR AND INTERIOR WALL SURFACES THROUGHOUT.
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- FRAMING CONTRACTOR TO SUPPLY AND INSTALL BACKING AT ALL WALL-MOUNTED CABINETS, ACCESSORIES, ETC., AND COORDINATE WITH SUPPLIERS FOR BACKING REQUIREMENTS.
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- FIRE STOP ALL PENETRATIONS IN 1-HOUR ASSEMBLIES & MEMBRANES, PER APPROPRIATE DETAILS.

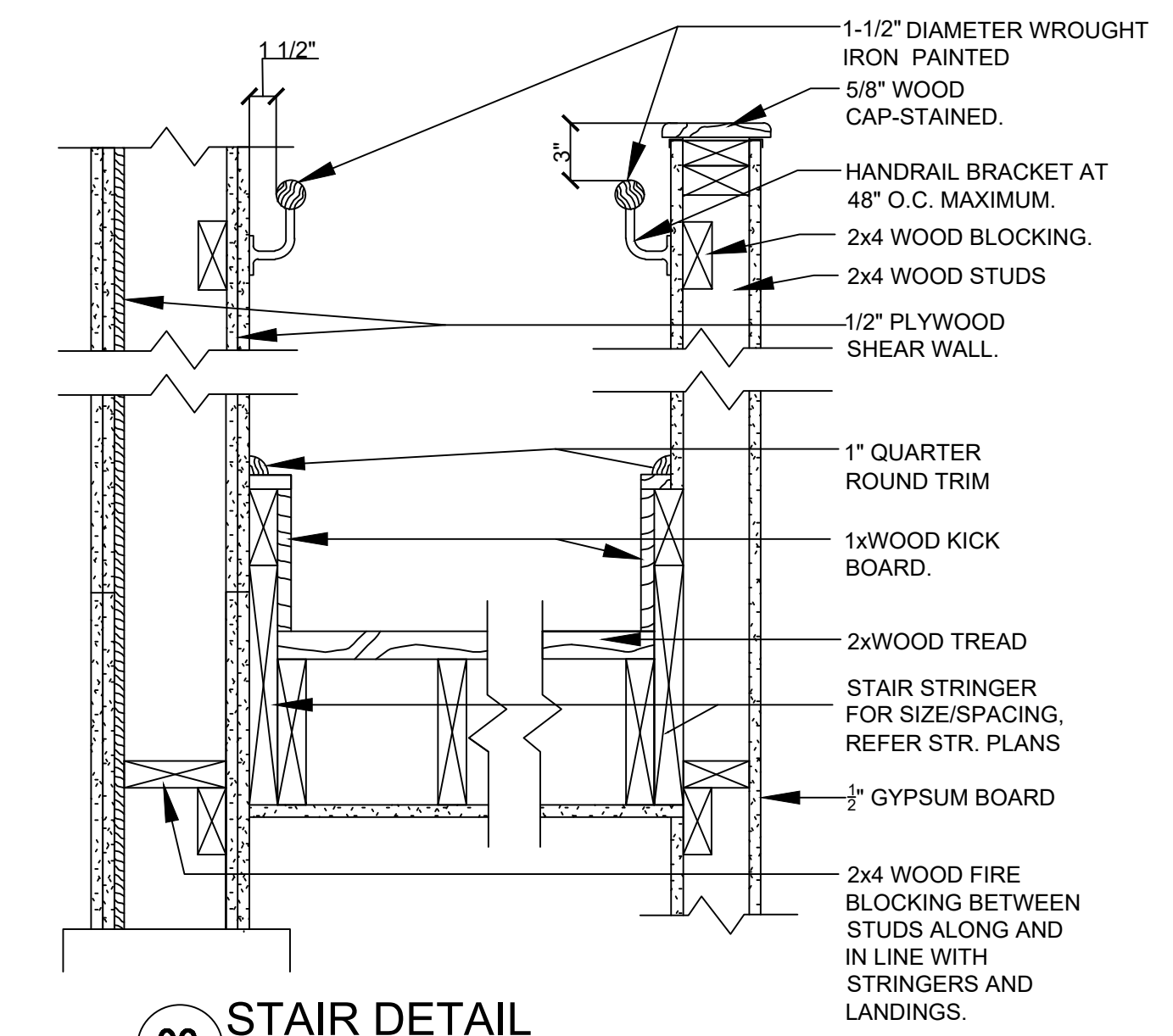
RCP SHEET NOTES

- REFER TO ELECTRICAL PLANS FOR ALL EXIT SIGNAGE, EMERGENCY LIGHTING, FIRE ALARM, NOTES, FIXTURE TYPES, SPECS AND DETAILS.
- REFER TO MECHANICAL PLANS FOR RETURN AND SUPPLY REGISTER LOCATION.
- CEILING HEIGHT DIMENSION ARE FROM PLATE HEIGHT OF SOFFIT OR CEILING TO GYPCRETE BELOW.
- TYPICAL AT ALL FOURTH FLOOR APARTMENT UNITS NO DROP SOFFITS REQUIRED.

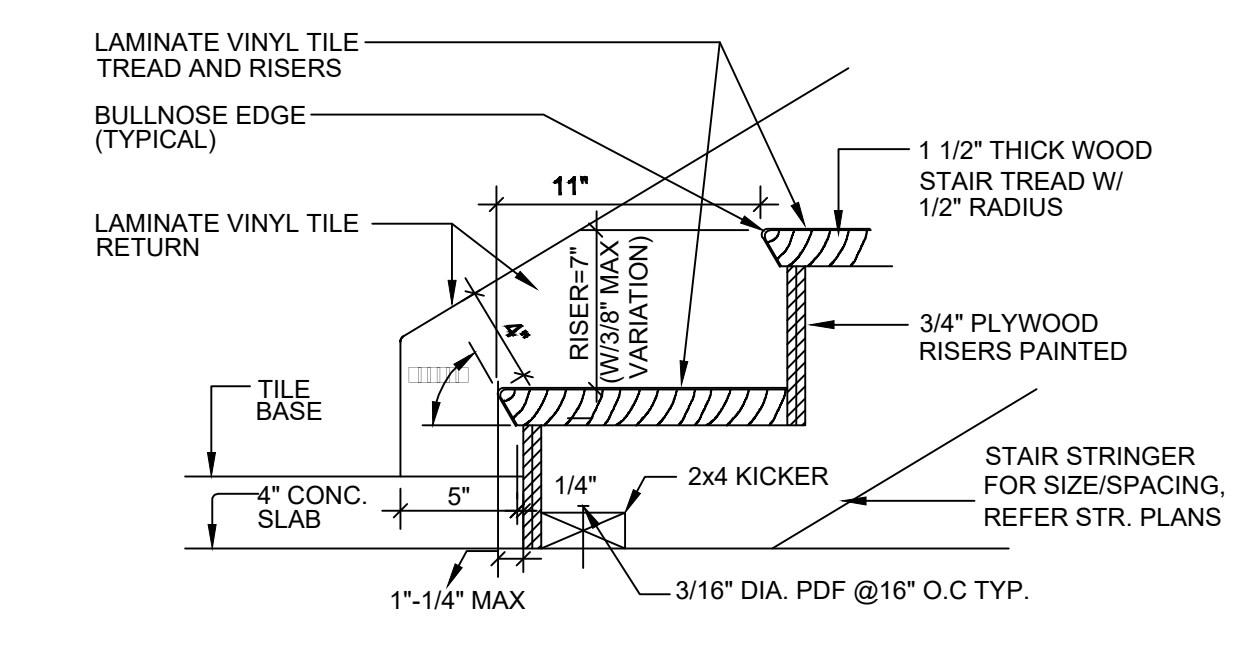
SHEET TITLE: PROPOSED 2ND FLOOR APARTMENTS # 104
 DRAWN BY: Deilly E
 CHECKED BY: B.J
 IN CHARGE: Deilly E
 APPROVED BY: B.J
 DATE: 10-11-2024
 REV. REV. REV.
 PROPOSED APARTMENT BUILDING FOR: MAGDALENO MAGANA 2834 EL PORTAL DR, SAN PABLO, CA 94806 510-610-0992
 SCALE: 1/4" = 1'-0"
A-2.4



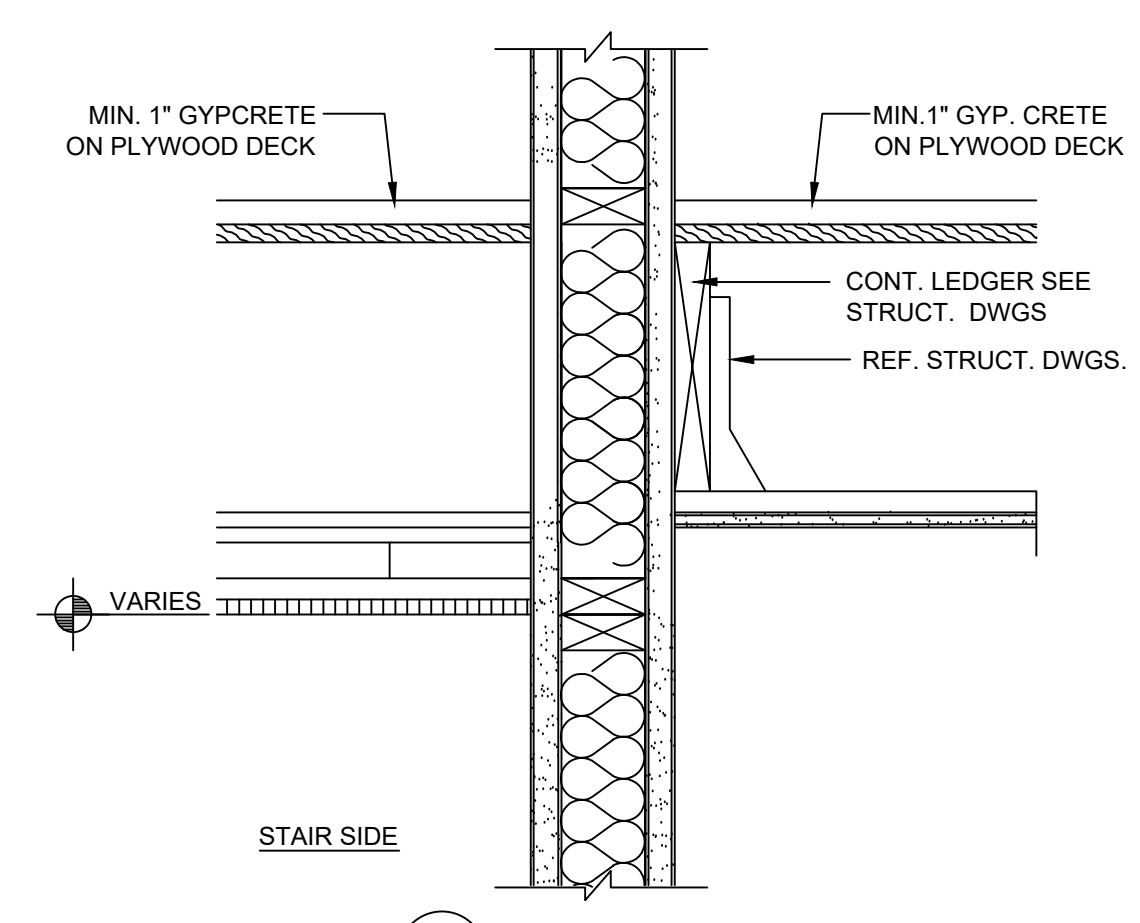
A SECTION
A-2.5 SCALE 1/4" = 1'-0"



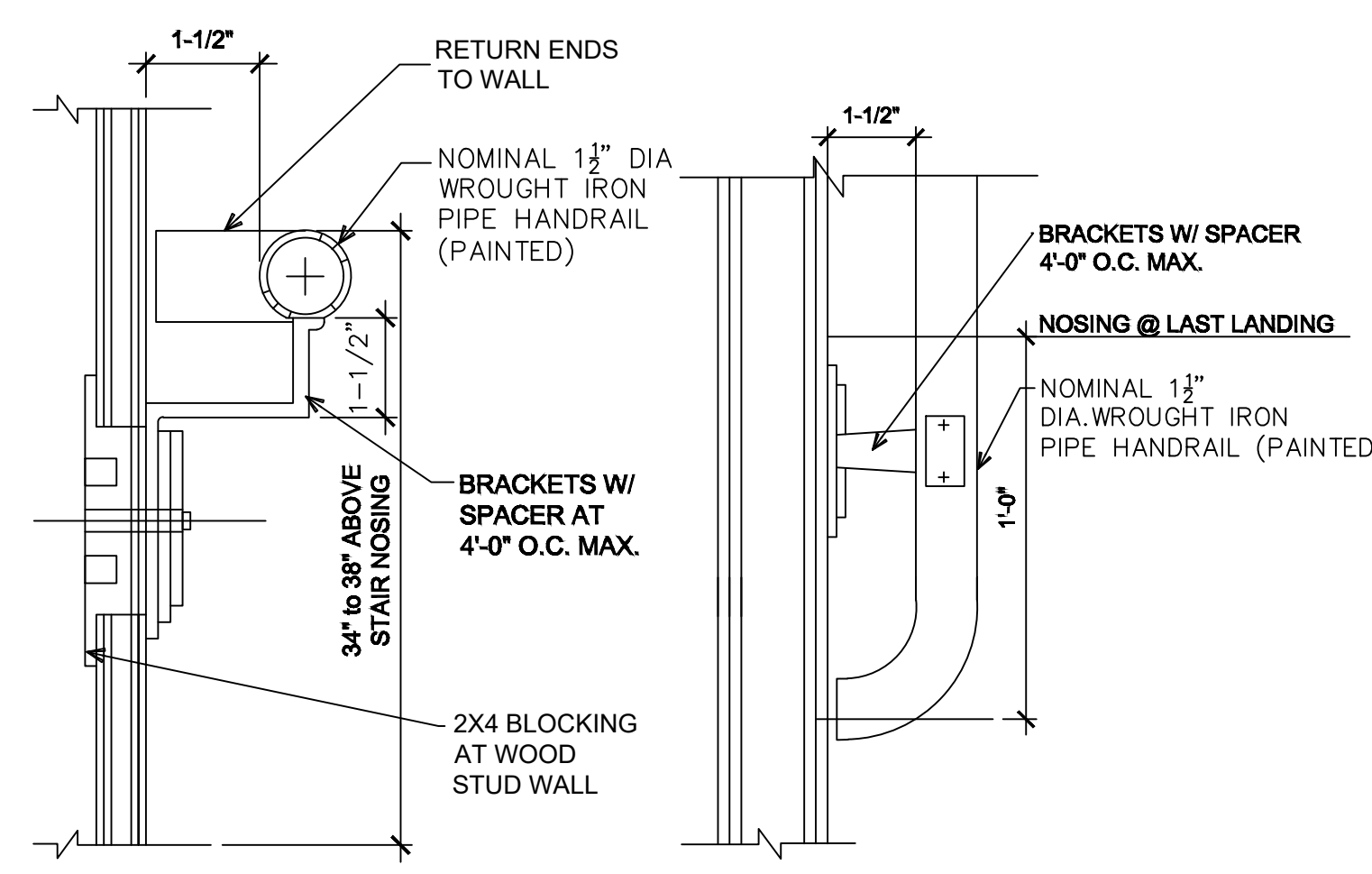
03 STAIR DETAIL
SCALE: NTS



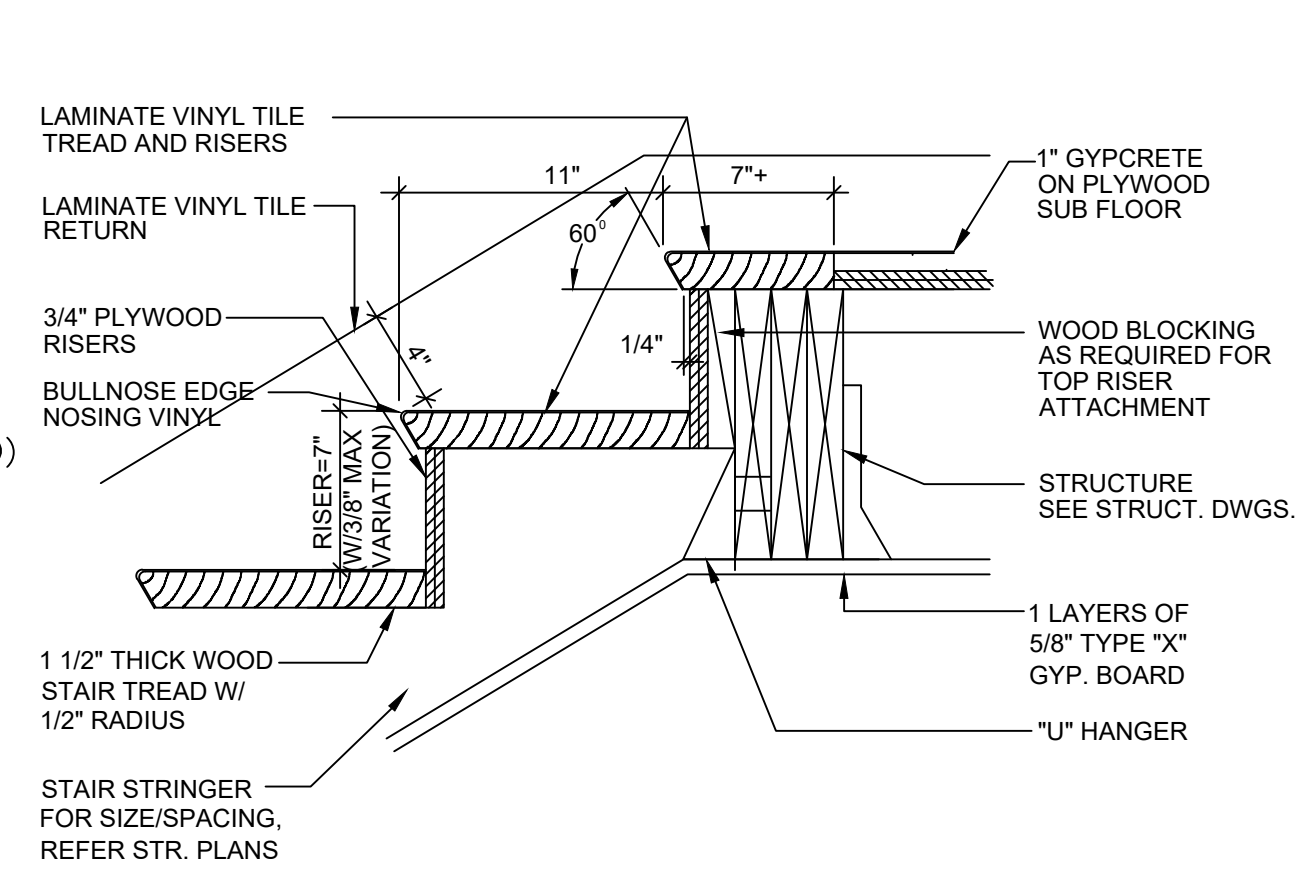
06 STAIR TO SLAB
SCALE: 1-1/2" = 1'-0"



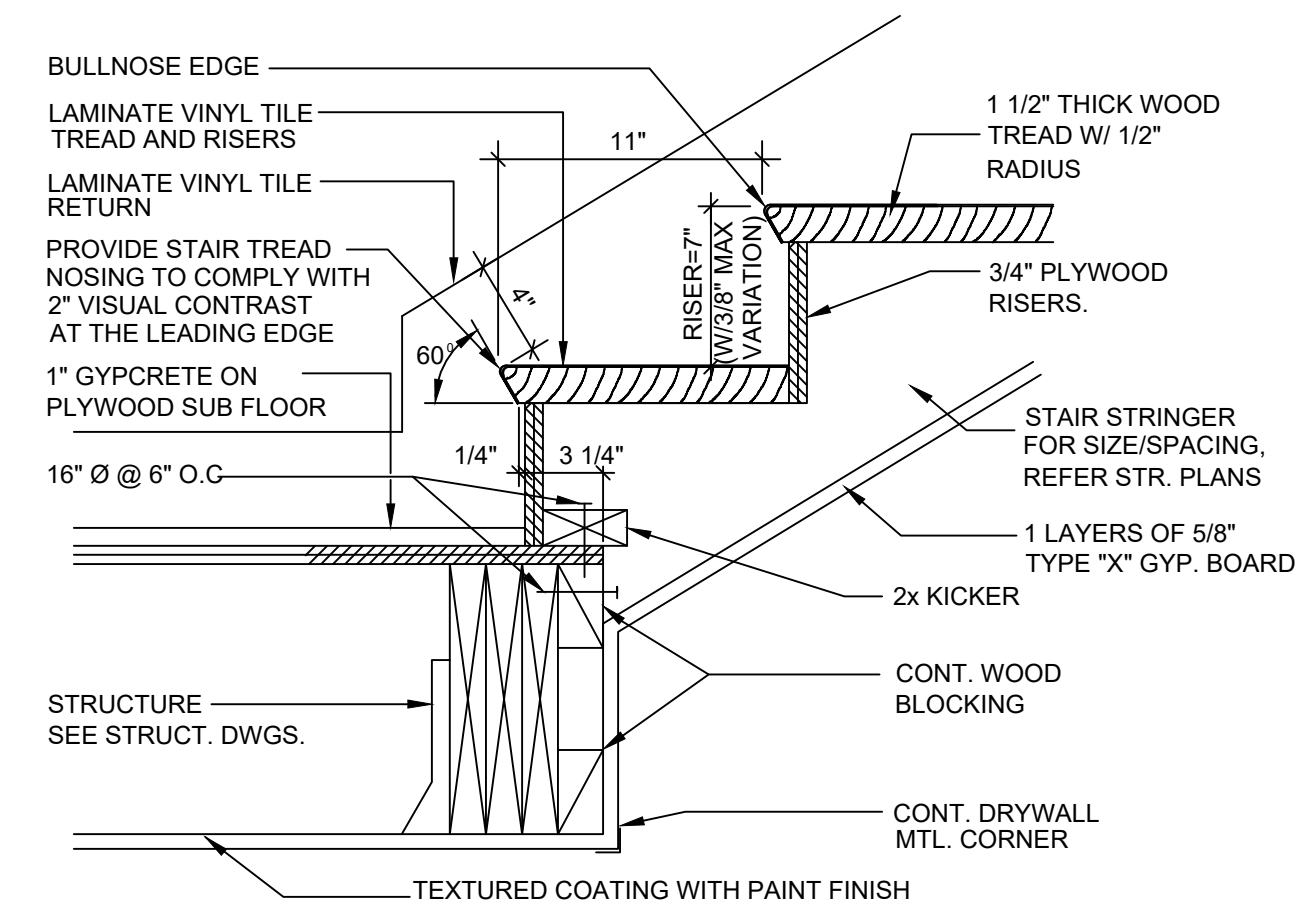
8 LANDING TO WALL
SCALE: 1-1/2" = 1'-0"



04 ENLARGE HANDRAIL SECTION SCALE: NTS
05 ENLARGE HANDRAIL PLAN SCALE: NTS



07 STAIR TO LANDING
SCALE: 1-1/2" = 1'-0"



9 STAIR TO LANDING
SCALE: 1-1/2" = 1'-0"

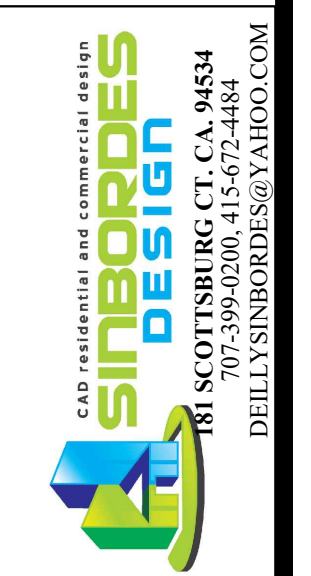
#	ROOF/FLOOR/CEILING KEY NOTES
1	AIR IMPERMEABLE FULL DEPTH INSULATION APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING COMPLYING PER SECTION 1202.3 ITEM 5.1.1.
2	WOOD ROOF TRUSS SYSTEM REF: STRUCTURAL DWGS.
3	BEAM PER STR PLANS.
4	INSULATION
5	1" GYPCRETE POURED OVER 1/4" PROPRIETARY SOUND REDUCTION MAT
6	WOOD FLOOR TJI PER STR. PLAN
7	1/8" PLYWOOD SUBFLOOR
8	36" HIGH PAINTED WROUGHT IRON HANDRAIL.

LEGEND:
PLEASE REFER SHEET A3.4 FOR WALL LEGENDS & ASSEMBLIES, FLOOR & ROOF CEILING ASSEMBLIES.

SHEET TITLE:
SECTION A & STAIRS
DETAILS

APPROVED BY: **BJ**
DATE: **04-29-2025**
DRAWN BY: **Deilly E**
CHECKED BY: **BJ**
IN CHARGE: **Deilly E**

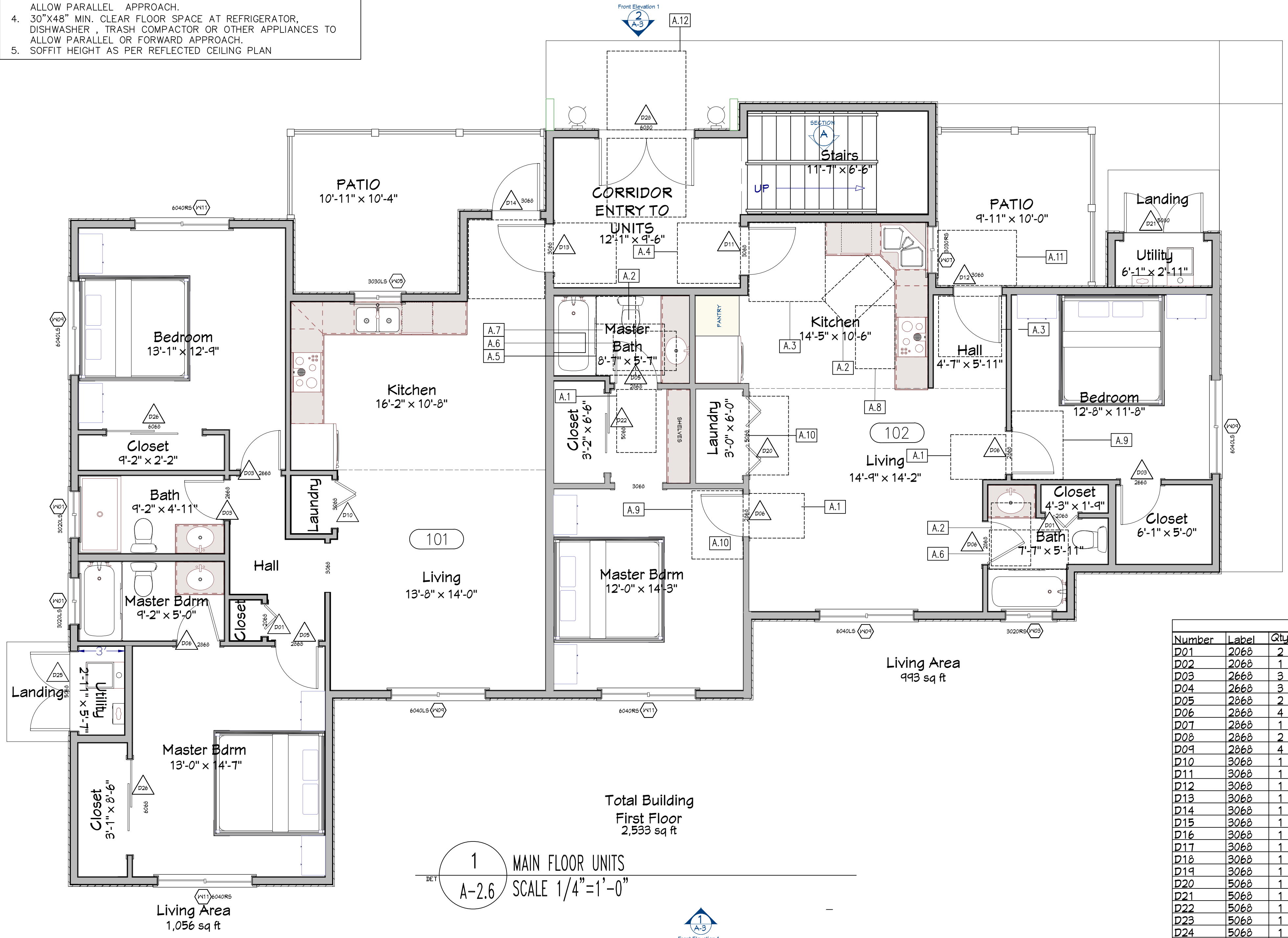
PROPOSED APARTMENT BUILDING
FOR: MAGDALENO MAGANA
2834 EL PORTAL DR, SAN PABLO, CA 94806
510-610-0992



SCALE: 1/4" = 1'-0"

A-2.5

- NOTE FOR CONTRACTOR:
- 30" MINIMUM COUNTERTOP SPACE FOR SINK INSTALLATION WITH REMOVABLE BASE CABINET AND FINISH FLOORING BENEATH THE SINK; 30"x48" CLEAR FLOOR SPACE TO ALLOW PARALLEL OR FORWARD APPROACH.
 - 30" MIN. COUNTERTOP FOR WORK SURFACE WITH REMOVABLE BASE CABINET AND FINISH FLOORING BENEATH; 30"x48" MIN. CLEAR FLOOR SPACE ADJACENT TO RANGE TO ALLOW PARALLEL APPROACH.
 - 30"x48" MIN. CLEAR FLOOR SPACE AT REFRIGERATOR, DISHWASHER, TRASH COMPACTOR OR OTHER APPLIANCES TO ALLOW PARALLEL OR FORWARD APPROACH.
 - 30"x48" MIN. CLEAR FLOOR SPACE AT REFRIGERATOR, DISHWASHER, TRASH COMPACTOR OR OTHER APPLIANCES TO ALLOW PARALLEL OR FORWARD APPROACH.
 - SOFFIT HEIGHT AS PER REFLECTED CEILING PLAN



1 MAIN FLOOR UNITS
A-2.6 SCALE 1/4"=1'-0"

S.NO.	TAG	DIMENSIONS	DESCRIPTION
1.	A.1	3'-6" x 2'-10"	FRONT OR APPROACH SIDE 2'-6"x4'-0";PUSH SIDE CLEAR FLOOR SPACE(1'-6" BEYOND DOOR WIDTH @ LATCH SIDE).
2.	A.2	4'-0" x 2'-6"	SINK MTD. AT 34" MAX. AFF. PROVIDED 9" HIGH X 17" MIN. DEEP TOE CLEARANCES. BOTTOM OF BOWL SHALL BE 27" MIN. A.F.F.
3.	A.3	5'-0" x 4'-10"	FRONT APPROACH - DOOR +24" x 5'-0" PULL-SIDE CLEAR FLOOR SPACE (2'-0" BEYOND DOOR WIDTH @ LATCH SIDE).
4.	A.4	4'-0" x 3'-10"	FRONT APPROACH - DOOR +12" x 4'-0" PUSH-SIDE CLEAR FLOOR SPACE (1'-0" BEYOND DOOR WIDTH @ LATCH SIDE & DOOR PROVIDED WITH LATCH AND CLOSER).
5.	A.5	4'-4" x 3'-3"	FRONT APPROACH - DOOR +18" x 3'-3" PULL-SIDE CLEAR FLOOR SPACE (1'-6" BEYOND DOOR WIDTH @ LATCH SIDE).
6.	A.6	4'-0" x 3'-0"	30" X 48" WHEELCHAIR COMPLIANCE WITH TOUCHABILITY REQUIREMENTS PER CBC 11B-603.6 FOR ROOMS THAT ARE NOT REQUIRED TO PROVIDE MOBILITY FEATURES COMPLYING WITH CBC 11B-806.2.
7.	A.7	5'-0" x 2'-0"	30" X 60" CLEAR SPACE MEASURED AT CENTER POINTS OF OPPOSING SIDES WITH A FULL OPENING WIDTH ON THE LONG SIDE AS PER CBC 2019 SECTION 608.2.2.
8.	A.8	3'-6" x 2'-6"	30"x48" CLEAR FLOOR SPACE FOR A PARALLEL APPROACH & IT MUST BE CENTERED ON FIXTURE .
9.	A.9	4'-4" x 3'-6"	FRONT APPROACH - DOOR +18" x 3'-6" PULL-SIDE CLEAR FLOOR SPACE (1'-6" BEYOND DOOR WIDTH @ LATCH SIDE).
10.	A.10	5'-0" x 3'-6"	BIFOLD OR HINGE APPROACH - DOOR +24" x 3'-6" (2'-0" BEYOND DOOR WIDTH @ LATCH SIDE).
11.	A.11	5'-0" x 3'-6"	FRONT APPROACH 30"x48"
12.	A.12	5'-0" x 5'-0"	FRONT APPROACH - DOOR + PULL-SIDE CLEAR FLOOR SPACE (1'-6" BEYOND DOOR WIDTH @ LATCH SIDE).

Door Schedule												
Number	Label	Qty	Floor	Size	Width	Height	Description	Thickness	Code	Manufacturer	Comments	
D01	2068	2	1	2068 L	24"	80"	2 Dr. Bifold-Louvered					
D02	2068	1	2	2068 R	24"	80"	2 Dr. Bifold-Louvered	1 3/4"				
D03	2668	3	1	2668 R IN	30"	80"	Hinged-Door	1 3/4"				
D04	2668	3	2	2668 R IN	30"	80"	Hinged-Door	1 3/4"				
D05	2868	2	1	2868 L IN	32"	80"	Hinged-Door	1 3/4"				
D06	2868	4	1	2868 R IN	32"	80"	Hinged-Door	1 3/4"				
D07	2868	1	2	2868 L	32"	80"	2 Dr. Bifold-Louvered	1 3/4"				
D08	2868	2	2	2868 L IN	32"	80"	Hinged-Door	1 3/4"				
D09	2868	4	2	2868 R IN	32"	80"	Hinged-Door	1 3/4"				
D10	3068	1	1	3068 L	36"	80"	2 Dr. Bifold-Louvered	1 3/4"				
D11	3068	1	1	3068 L EX	36"	80"	ext. Hinged-Door	1 3/4"				
D12	3068	1	1	3068 L EX	36"	80"	ext. Hinged-Glass	1 3/4"				
D13	3068	1	1	3068 R EX	36"	80"	ext. Hinged-Door	1 3/4"				
D14	3068	1	1	3068 R EX	36"	80"	ext. Hinged-Glass	1 3/4"				
D15	3068	1	2	3068 L	36"	80"	2 Dr. Bifold-Louvered	1 3/4"				
D16	3068	1	2	3068 L EX	36"	80"	ext. Hinged-Glass	1 3/4"				
D17	3068	1	2	3068 L IN	36"	80"	Hinged-Door	1 3/4"				
D18	3068	1	2	3068 R EX	36"	80"	ext. Hinged-Glass	1 3/4"				
D19	3068	1	2	3068 R IN	36"	80"	Hinged-Door	1 3/4"				
D20	5068	1	1	5068 L/R	60"	80"	4 Dr. Bifold-Louvered	1 3/4"				
D21	5068	1	1	5068 L/R EX	60"	80"	ext. Double Hinged-Louvered	1 3/4"				
D22	5068	1	1	5068 R IN	60"	80"	Slider-Door	1 3/4"				
D23	5068	1	2	5068 L/R	60"	80"	4 Dr. Bifold-Louvered	1 3/4"				
D24	5068	1	2	5068 R IN	60"	80"	Slider-Door	1 3/4"				
D25	5080	1	1	5080 L/R EX	60"	96"	ext. Double Hinged-Louvered	1 3/4"				
D26	6068	2	1	6068 R IN	72"	80"	Slider-Door	1 3/4"				
D27	6068	2	2	6068 R IN	72"	80"	Slider-Door	1 3/4"				
D28	6080	1	1	6080 L/R EX	72"	96"	ext. Double Hinged-Glass	1 3/4"				

Window Schedule												
Number	Label	Qty	Floor	Size	Width	Height	Egress	Description	Code	Manufacturer	Comments	
W01	3020LS	2	1	3020LS	36"	24"		Left Sliding				
W02	3020LS	1	2	3020LS	36"	24"		Left Sliding				
W03	3020RS	1	1	3020RS	36"	24"		Right Sliding				
W04	3020RS	2	2	3020RS	36"	24"		Right Sliding				
W05	3030LS	1	1	3030LS	36"	36"		Left Sliding				
W06	3030LS	1	2	3030LS	36"	36"		Left Sliding				
W07	3030RS	1	1	3030RS	36"	36"		Right Sliding				
W08	3030RS	1	2	3030RS	36"	36"		Right Sliding				
W09	6040LS	4	1	6040LS	72"	48"		Left Sliding				
W10	6040LS	5	2	6040LS	72"	48"		Left Sliding				
W11	6040RS	3	1	6040RS	72"	48"		Right Sliding				
W12	6040RS	3	2	6040RS	72"	48"		Right Sliding				

SHEET TITLE:
**ACCESSIBLE UNIT #102
WINDOWS & DOORS
SCHEDULES**

APPROVED BY:
BJ
DATE:
05-05-2025

DRAWN BY:
Deilly E
CHECKED BY:
BJ

IN CHARGE:
Deilly E

PROPOSED APARTMENT BUILDING
FOR: MAGDALENO MAGANA
2834 EL PORTAL DR, SAN PABLO, CA 94806
510-610-0992

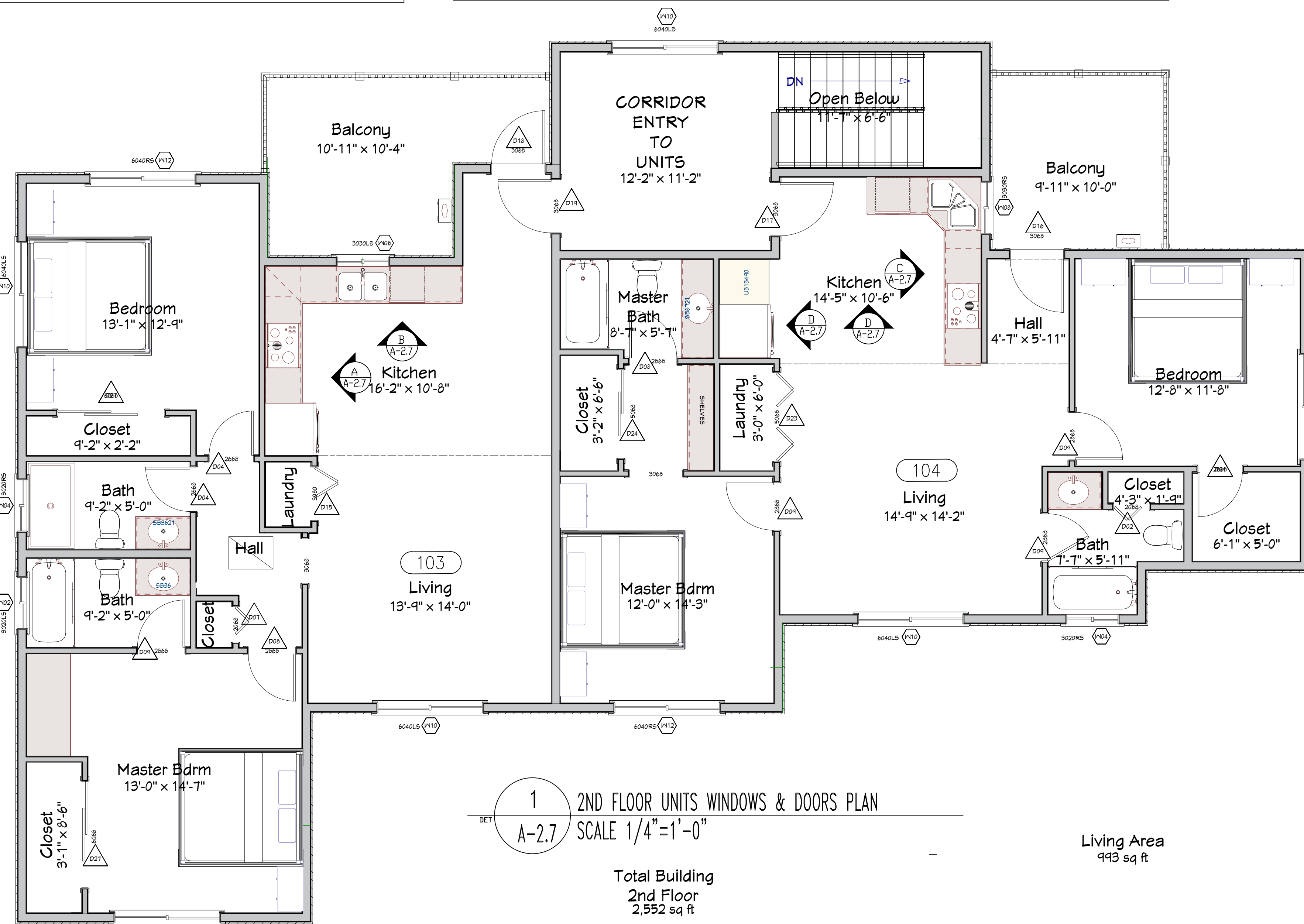


SCALE: 1/4"=1'-0"

A-2.6

- NOTE FOR CONTRACTOR:
- 30" MINIMUM COUNTERTOP SPACE FOR SINK INSTALLATION WITH REMOVABLE BASE CABINET AND FINISH FLOORING BENEATH THE SINK; 30"x48" CLEAR FLOOR SPACE TO ALLOW PARALLEL OR FORWARD APPROACH.
 - 30" MIN. COUNTERTOP FOR WORK SURFACE WITH REMOVABLE BASE CABINET AND FINISH FLOORING BENEATH;
 - 30"x48" MIN. CLEAR FLOOR SPACE ADJACENT TO RANGE TO ALLOW PARALLEL APPROACH.
 - 30"x48" MIN. CLEAR FLOOR SPACE AT REFRIGERATOR, DISHWASHER, TRASH COMPACTOR OR OTHER APPLIANCES TO ALLOW PARALLEL OR FORWARD APPROACH.
 - SOFFIT HEIGHT AS PER REFLECTED CEILING PLAN

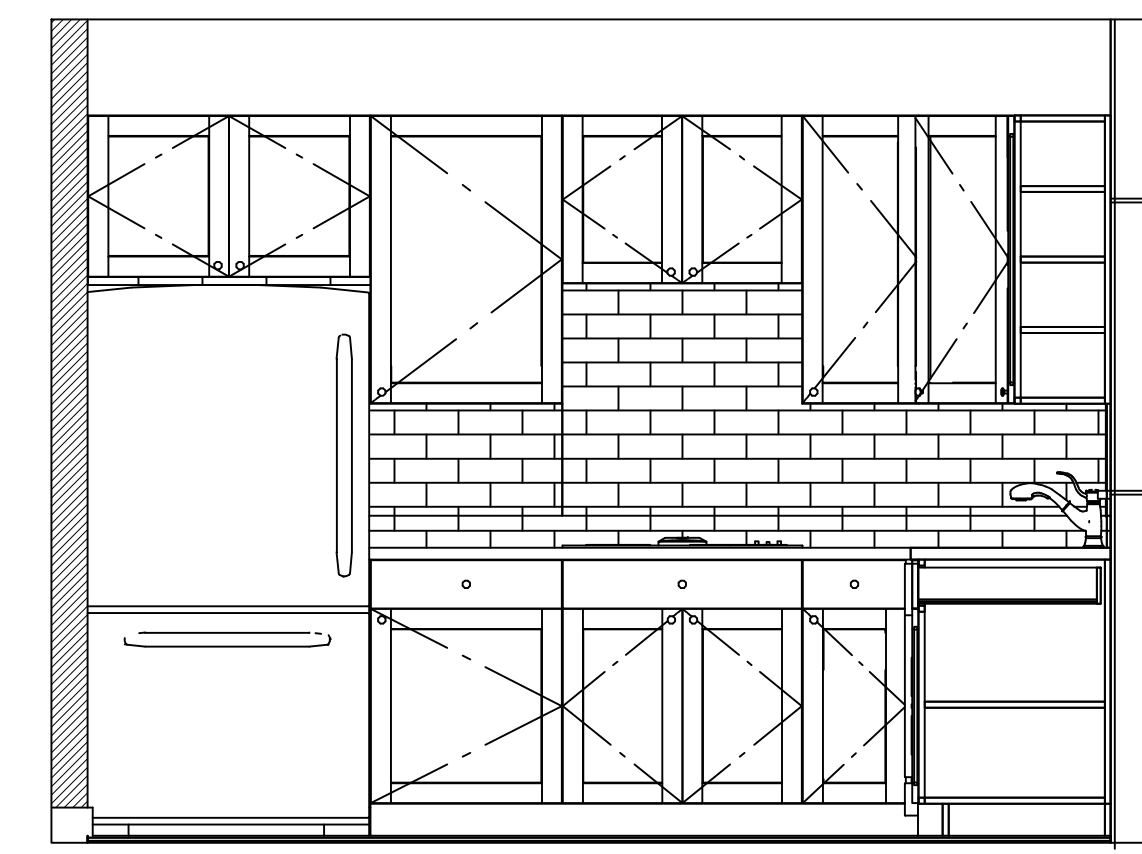
- INTERIOR ELEVATION KEY NOTES
- | | | | |
|-----------------------|-----------------------------|---------------------|---------------------------------|
| 1 FINISH FLOOR | 12 DOOR (SEE DOOR SCHEDULE) | 19 KITCHEN FAUCET | 24 HOOD ENCLOSED INSIDE CABINET |
| 2 FINISH CEILING | 13 4" BACKSPASH | 20 32" DRYER | |
| 3 34" LOWER CABINET | 16 BATHROOM FAUCET | 21 24" DISHWASHER | |
| 4 STONETOP COUNTERTOP | 17 36" UPPER CABINET | 22 30" GAS ELECTRIC | |
| 5 WALL MOUNTED SINK | 18 SOFFIT HEIGHT AS PER RCP | 23 30" MICROWAVE | |



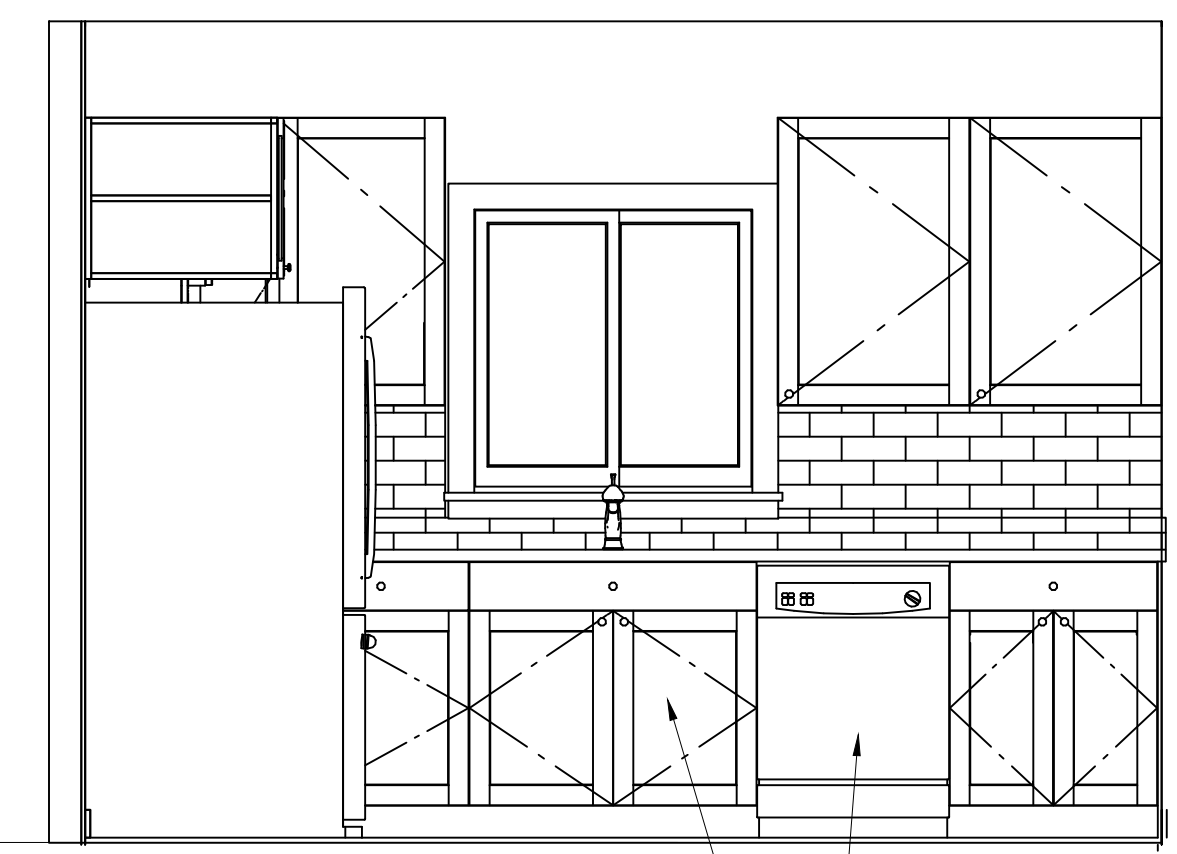
1 2ND FLOOR UNITS WINDOWS & DOORS PLAN
SCALE: 1/4"=1'-0"

Total Building
2nd Floor
2,552 sq ft

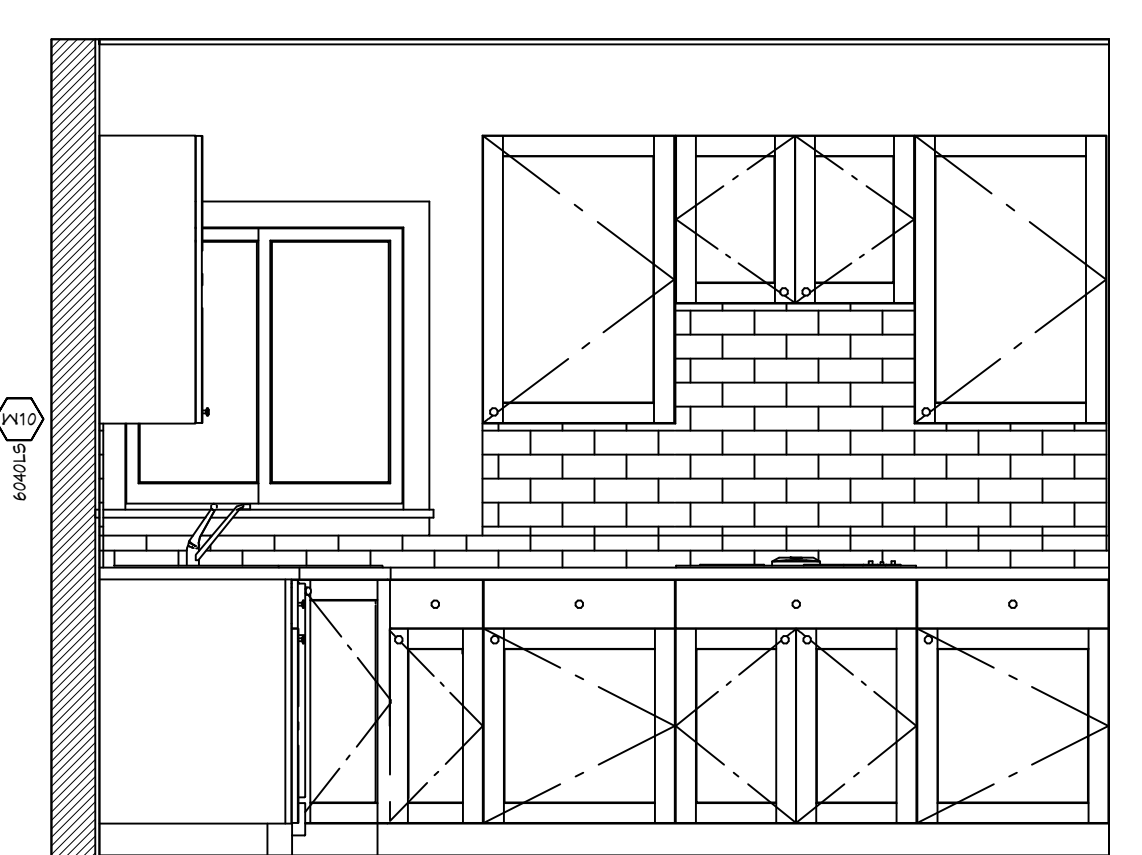
Living Area
995 sq ft



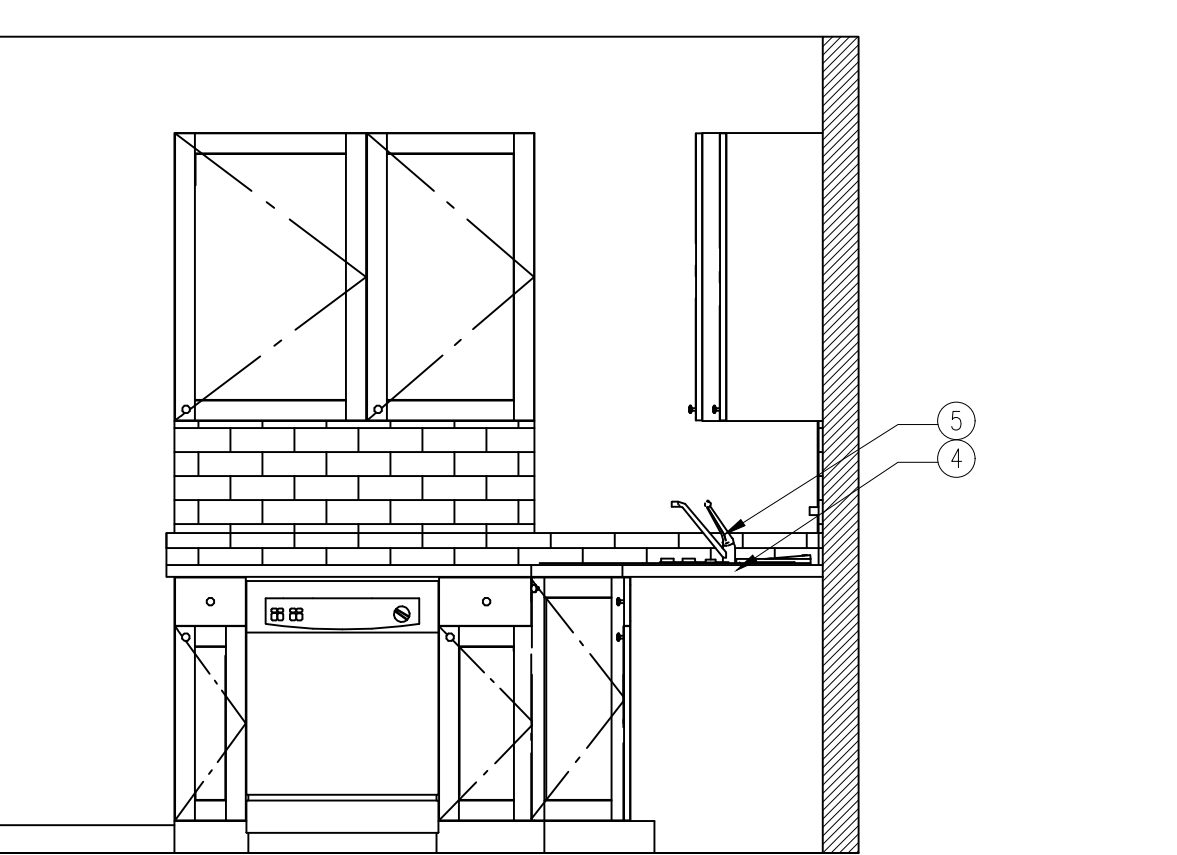
A KITCHEN ELEVATION
A-2.7 SCALE: N.T.S



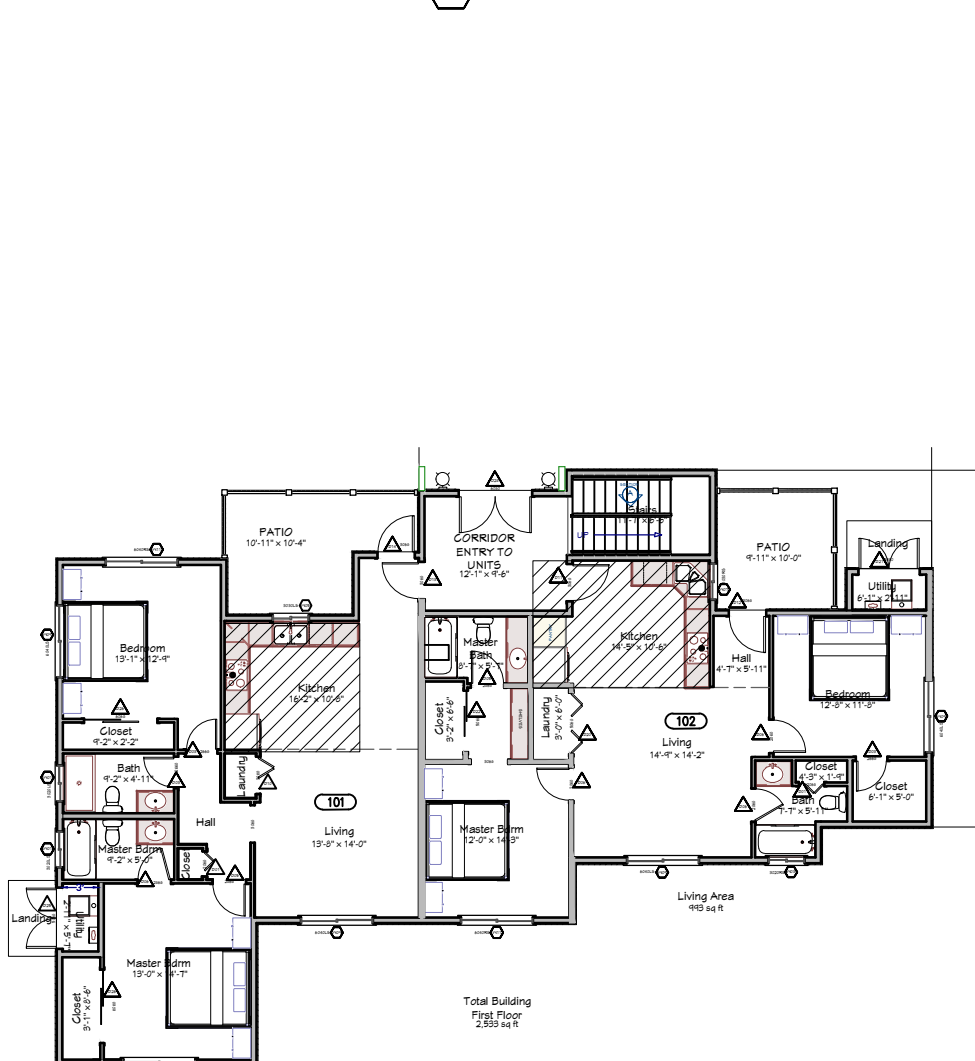
B KITCHEN ELEVATION
A-2.7 SCALE: N.T.S



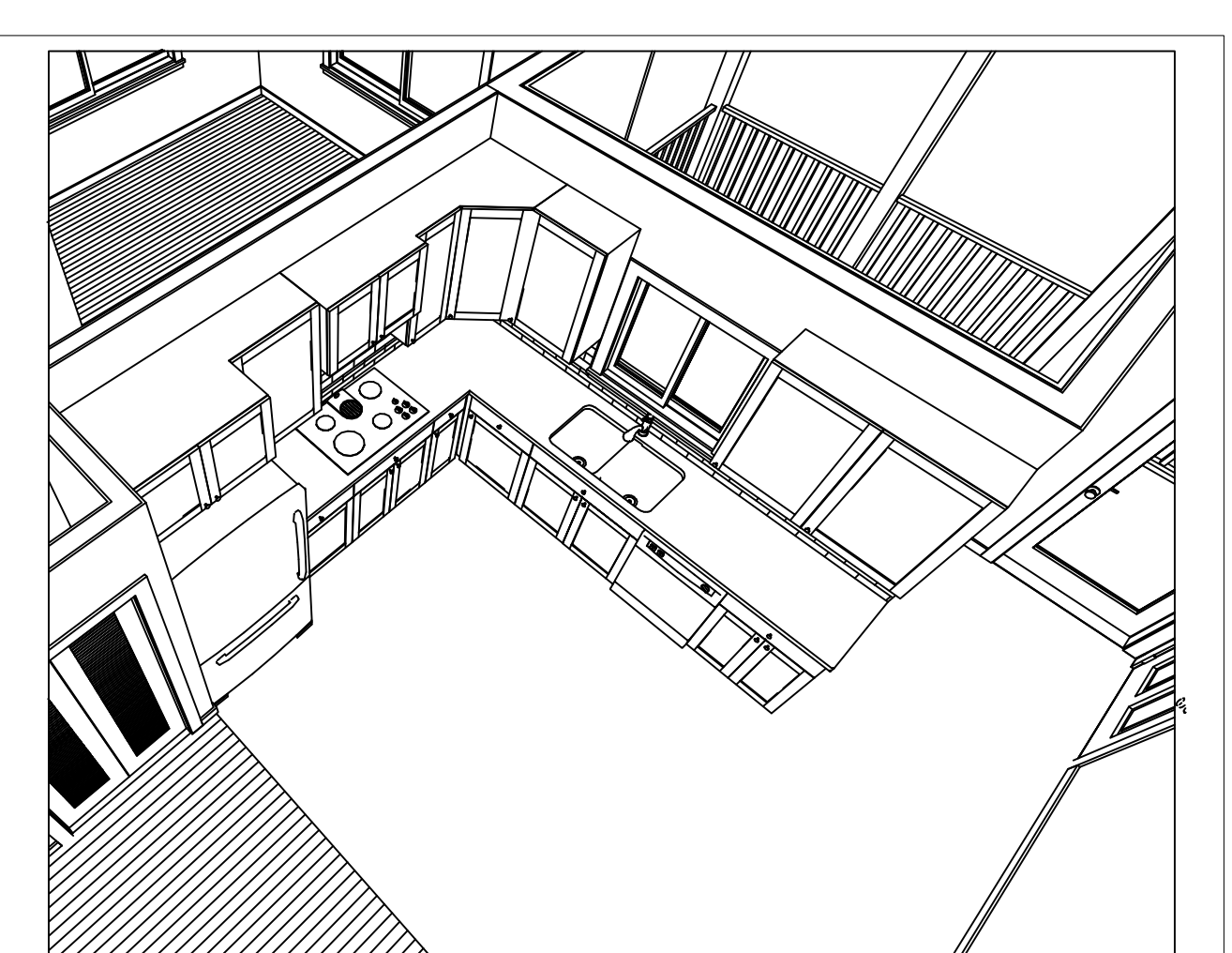
C KITCHEN ELEVATION
A-2.7 SCALE: N.T.S



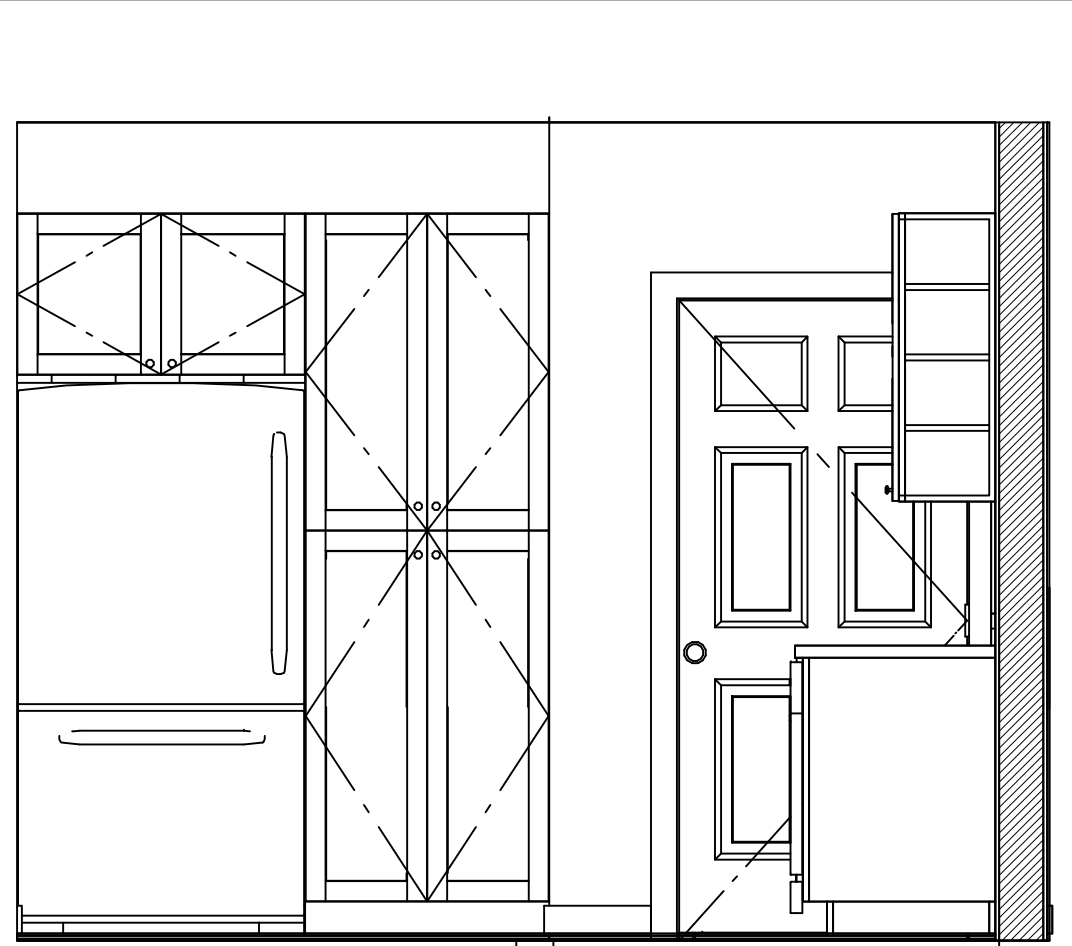
D KITCHEN ELEVATION
A-2.7 SCALE: N.T.S



2-KEY PLAN UNITS 101,102,103 & 104 KITCHEN
SCALE: 1/16"=1'



3 TOP VIEW KITCHEN
A-2.7 SCALE: N.T.S



E KITCHEN ELEVATION
A-2.7 SCALE: N.T.S

Door Schedule											
Number	Label	Qty	Floor	Size	Width	Height	Description	Thickness	Code	Manufacturer	Comments
D01	2068	2	1	2068 L	24"	80"	2 Dr. Bifold-Louvered				
D02	2068	1	2	2068 R	24"	80"	2 Dr. Bifold-Louvered	1 3/4"			
D03	2668	3	1	2668 R IN	30"	80"	Hinged-Door	1 3/4"			
D04	2668	3	2	2668 R IN	30"	80"	Hinged-Door	1 3/4"			
D05	2868	2	1	2868 L IN	32"	80"	Hinged-Door	1 3/4"			
D06	2868	4	1	2868 R IN	32"	80"	Hinged-Door	1 3/4"			
D07	2868	1	2	2868 L	32"	80"	2 Dr. Bifold-Louvered	1 3/4"			
D08	2868	2	2	2868 L IN	32"	80"	Hinged-Door	1 3/4"			
D09	2868	4	2	2868 R IN	32"	80"	Hinged-Door	1 3/4"			
D10	3068	1	1	3068 L	36"	80"	2 Dr. Bifold-Louvered	1 3/4"			
D11	3068	1	1	3068 L EX	36"	80"	ext. Hinged-Door	1 3/4"			
D12	3068	1	1	3068 L EX	36"	80"	ext. Hinged-Glass	1 3/4"			
D13	3068	1	1	3068 R EX	36"	80"	ext. Hinged-Door	1 3/4"			
D14	3068	1	1	3068 R EX	36"	80"	ext. Hinged-Glass	1 3/4"			
D15	3068	1	2	3068 L	36"	80"	2 Dr. Bifold-Louvered	1 3/4"			
D16	3068	1	2	3068 L EX	36"	80"	ext. Hinged-Glass	1 3/4"			
D17	3068	1	2	3068 L IN	36"	80"	Hinged-Door	1 3/4"			
D18	3068	1	2	3068 R EX	36"	80"	ext. Hinged-Glass	1 3/4"			
D19	3068	1	2	3068 R IN	36"	80"	Hinged-Door	1 3/4"			
D20	5068	1	1	5068 L/R	60"	80"	4 Dr. Bifold-Louvered	1 3/4"			
D21	5068	1	1	5068 L/R EX	60"	80"	ext. Double Hinged-Louvered	1 3/4"			
D22	5068	1	1	5068 R IN	60"	80"	Slider-Door	1 3/4"			
D23	5068	1	2	5068 L/R	60"	80"	4 Dr. Bifold-Louvered	1 3/4"			
D24	5068	1	2	5068 R IN	60"	80"	Slider-Door	1 3/4"			
D25	5080	1	1	5080 L/R EX	60"	96"	ext. Double Hinged-Louvered	1 3/4"			
D26	6068	2	1	6068 R IN	72"	80"	Slider-Door	1 3/4"			
D27	6068	2	2	6068 R IN	72"	80"	Slider-Door	1 3/4"			
D28	6080	1	1	6080 L/R EX	72"	96"	ext. Double Hinged-Glass	1 3/4"			

Window Schedule											
Number	Label	Qty	Floor	Size	Width	Height	Description	Egress	Code	Manufacturer	Comments
W01	3020LS	2	1	3020LS	36"	24"	Left Sliding				
W02	3020LS	1	2	3020LS	36"	24"	Left Sliding				
W03	3020RS	1	1	3020RS	36"	24"	Right Sliding				
W04	3020RS	2	2	3020RS	36"	24"	Right Sliding				
W05	3030LS	1	1	3030LS	36"	36"	Left Sliding				
W06	3030LS	1	2	3030LS	36"	36"	Left Sliding				
W07	3030RS	1	1	3030RS	36"	36"	Right Sliding				
W08	3030RS	1	2	3030RS	36"	36"	Right Sliding				
W09	6040LS	4	1	6040LS	72"	48"	Left Sliding				
W10	6040LS	5	2	6040LS	72"	48"	Left Sliding				
W11	6040RS	3	1	6040RS	72"	48"	Right Sliding				
W12	6040RS	3	2	6040RS	72"	48"	Right Sliding				

SHEET TITLE:
WINDOWS & DOOR SCHEDULES 2ND FLOOR

APPROVED BY:
BJ
DATE:
05-05-2025

DRAWN BY:
Deilly E
CHECKED BY:
BJ
IN CHARGE:
Deilly E

PROPOSED APARTMENT BUILDING
FOR: MAGDALENO MAGANA
2834 EL PORTAL DR, SAN PABLO, CA 94806
510-610-0992



SCALE: 1/16"=1'-0"

A-2.7

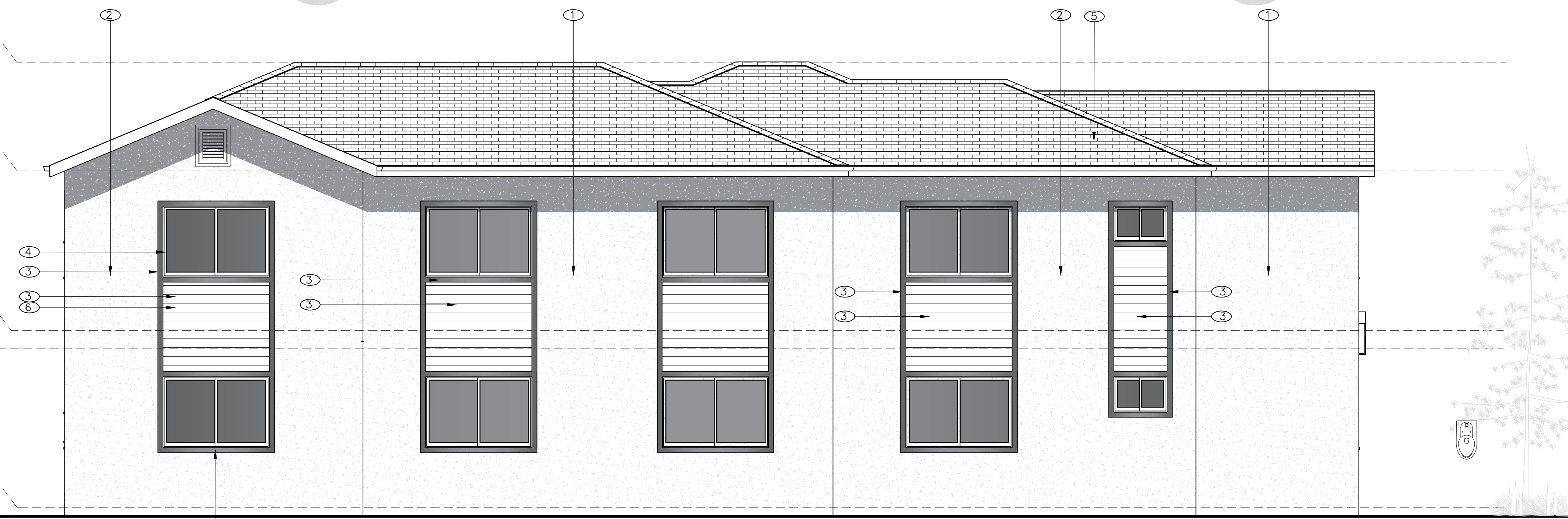
TOP OF RIDGE
ELEV. @ 25'-7"

TOP PLATE
ELEV. @ 9'-0"

FINISH FLOOR
ELEV. @ 10'-0"

TOP PLATE
ELEV. @ 9'-0"

FINISH FLOOR
ELEV. @ 0'+-6"



1.1 PROPOSED FRONT ELEVATION
SCALE 1/4"=1'-0"



1 PROPOSED FRONT ELEVATION COLOR BOARD
SCALE 1/4"=1'-0"

EXTERIOR FINISH KEY

- ① STUCCO: BRAND PAREX "SNOWBALL 10400L(75)
- ② STUCCO: BRAND PAREX "DOVE 3003L-53"
- ③ STUCCO: BRAND PAREX "HALE NAVY BY BENJAMIN MOORE"
- ④ WHITE WINDOWS & SLIDER DOORS
- ⑤ ROOF MATERIAL: COMP. SHINGLES CLASS "A" COLOR: HDZ CHARCOAL LIFETIME
- ⑥ FIBER CEMENT SIDING
- ⑦ PATIOS, BALCONIES RAILING COLOR: VALSPAR WHITE SMOOTH SATIN FINISH

#KEY NOTES:

1. EXTERIOR WALLS: "STUCCO" CEMENT PLASTER, COLOR AND TEXTURE TO MATCH THE EXTERIOR FINISH INDEX ABOVE.
2. AWNING BY RUSKIN OR EQUIVALENT
3. BUSINESS SIGN SHALL CONSIST OF SINGLE LETTERS INSTALLED OVER THE FINISHED STUCCO. PROVIDE INDIRECT LIGHTING FOR SIGN-LETTER ILLUMINATION AS APPROVED BY PLANNING DEPARTMENT. EACH LETTER SHALL BE ILLUMINATED BY A SEPARATE LIGHT. SUBMIT FIXTURES TO PLANNING FOR APPROVAL PRIOR TO ORDER/INSTALLATION.
4. 24 GA. PRE-FINISHED METAL PARAPET CAP.
5. WEEP SCREED @ +4" MINIMUM ABOVE FINISH GRADE (2" ABOVE PAVED AREAS).
6. THE ADDRESS NUMBERS SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE EITHER INTERNALLY OR EXTERNALLY ILLUMINATED BY A DEDICATED LIGHT SOURCE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH (12.7 MM).
7. STOREFRONT: VINYL DUAL PANE WINDOWS BY "MILGAURD" OR EQUIVALENT. COLOR SELECTION BY OWNER.



Snowball 10400L (75)	Dove 3033L (53)	Mountain 3014L (56)	Stone Buff 351L (45)	Ranch 3024L (27)
Gray White 3013L (61)	Plateau 3019L (50)	Lonestar 3028L (29)	Canvas 3004L (45)	Santiago 3032L (19)
Waters Edge 3029L (40)	Sea Day 3018L (33)	Dutch Blue 3042L (23)	Sweet Grass 3012L (39)	Marada 3022L (17)
Pewter 3016L (29)	Teal Med 3037L (15)	Blue Med 3038D (12)	Channel 3017L (21)	Cavern 3031L (17)

SHEET TITLE:
**PROPOSED
COLORS AND
COLOR CHARD**

APPROVED BY: **BJ**
DATE: **10-11-2024**
DRAWN BY: **Deilly E**
CHECKED BY: **BJ**
IN CHARGE: **Deilly E**

PROPOSED APARTMENT BUILDING
FOR: MAGDALENO MAGANA
2834 EL PORTAL DR, SAN PABLO, CA 94806
510-610-0992



SCALE: 1/4"=1'-0"

CB

EXTERIOR FINISH KEY

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- ② STUCCO: BRAND PAREX "DOVE 3003L-53"
- ③ STUCCO: BRAND PAREX "HALE NAVY BY BENJAMIN MOORE"
- ④ WHITE WINDOWS & SLIDER DOORS
- ⑤ ROOF MATERIAL: COMP. SHINGLES CLASS "A" COLOR: HDZ CHARCOAL LIFETIME
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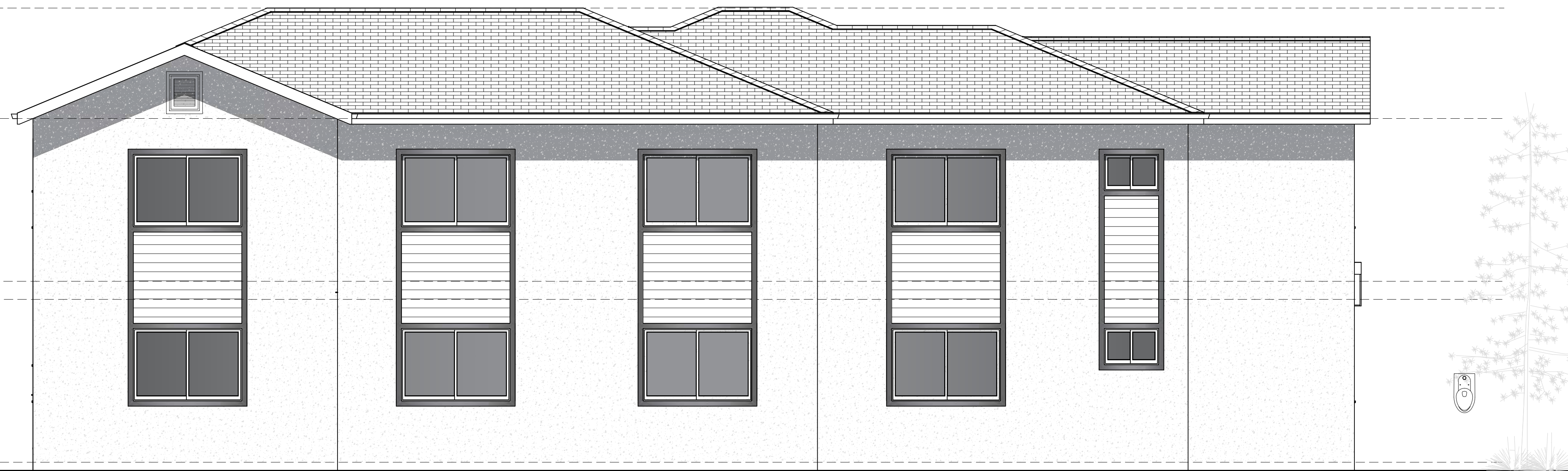
TOP OF RIDGE
ELEV. @ 25'-7"

TOP PLATE
ELEV. @ 9'-0"

FINISH FLOOR
ELEV. @ 10'-0"

TOP PLATE
ELEV. @ 9'-0"

FINISH FLOOR
ELEV. @ 0+-6



1 PROPOSED FRONT ELEVATION (EL PORTAL DR. VIEW)
SCALE 1/4"=1'-0"

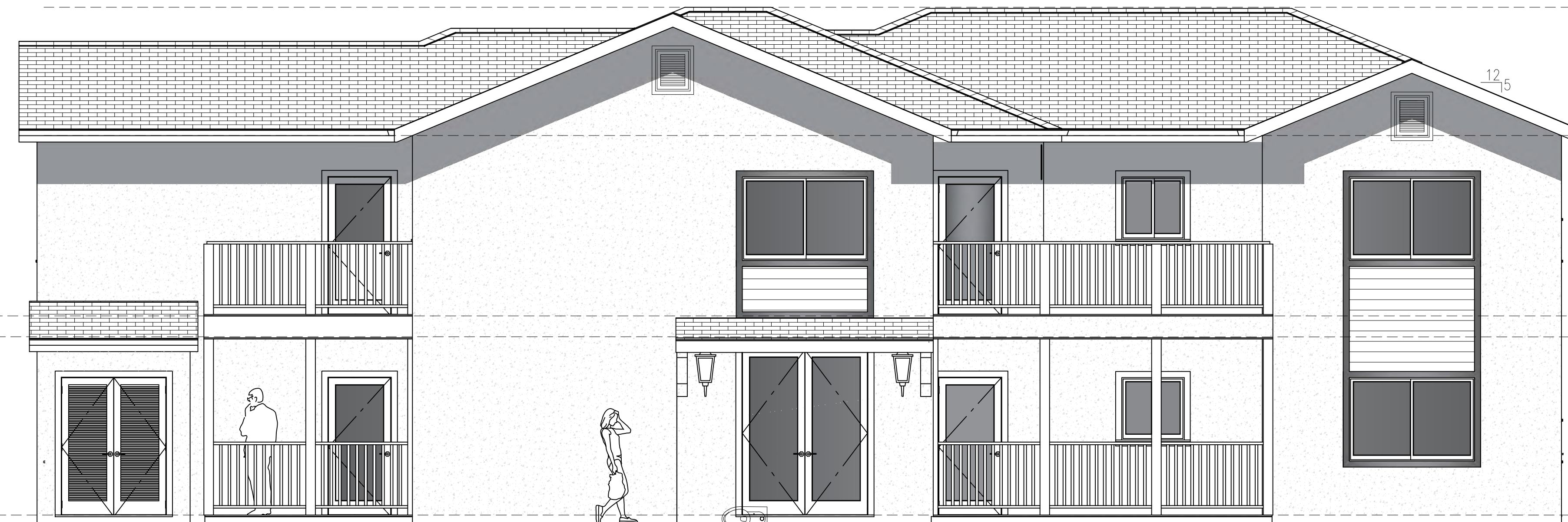
TOP OF RIDGE
ELEV. @ 24'-10. 003"

TOP PLATE
ELEV. @ 9'-0"

FINISH FLOOR
ELEV. @ 10'-0"

TOP PLATE
ELEV. @ 9'-0"

FINISH FLOOR
ELEV. @ 0+-6



2 PROPOSED REAR ELEVATION
SCALE 1/4"=1'-0"

SHEET TITLE:
**PROPOSED
ELEVATIONS**

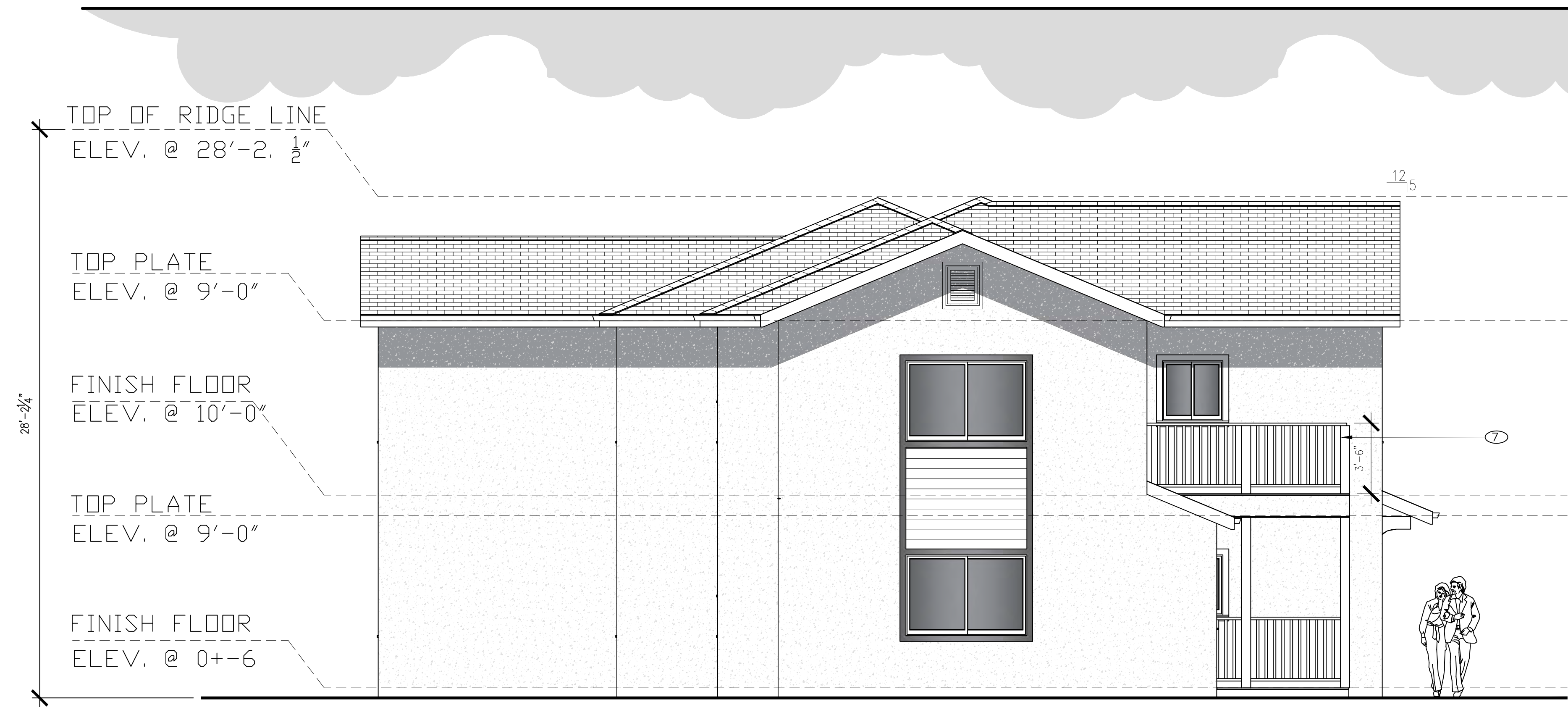
APPROVED BY: BJ	DATE: 10-11-2024
DRAWN BY: Deilly E	REV.:
CHECKED BY: BJ	REV.:
IN CHARGE: Deilly E	REV.:

PROPOSED APARTMENT BUILDING
FOR: MAGDALENO MAGANA
2834 EL PORTAL DR, SAN PABLO, CA 94806
510-610-0992



SCALE: 1/4"=1'-0"

A-3



1 PROPOSED RIGHT ELEVATION (PARKING LOT VIEW)
 SCALE 1/4"=1'-0"




2 PROPOSED LEFT ELEVATION
 SCALE 1/4"=1'-0"

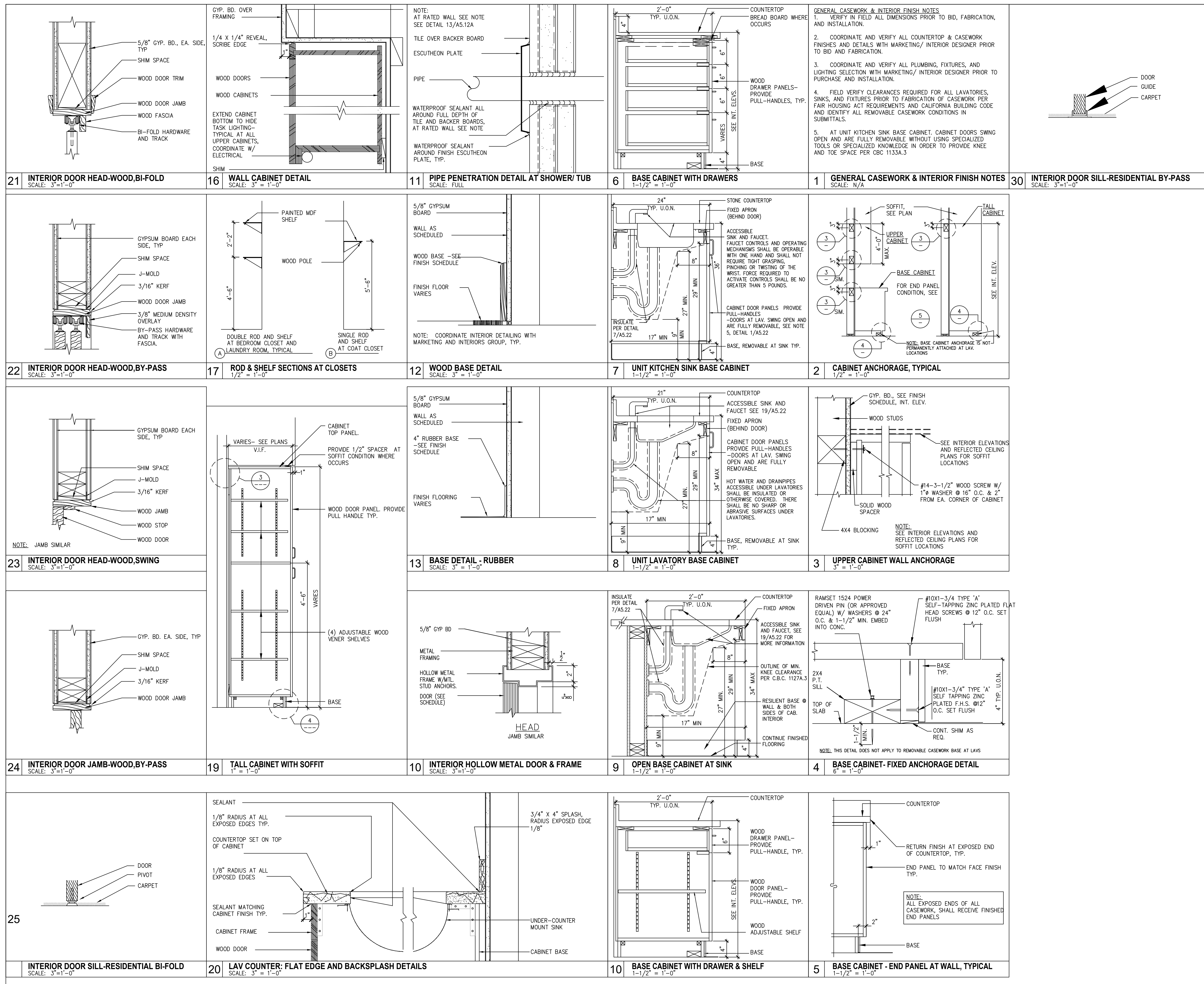
EXTERIOR FINISH KEY

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- ③ STUCCO: BRAND PAREX "HALE NAVY" BY BENJAMIN MOORE
- ④ WHITE WINDOWS & SLIDER DOORS
- ⑤ ROOF MATERIAL: COMP. SHINGLES CLASS "A" COLOR: HDZ CHARCOAL LIFETIME
- ⑥ FIBER CEMENT SIDING
- ⑦ PATIOS, BALCONIES RAILING COLOR: VALSPAR WHITE SMOOTH SATIN FINISH

KEY NOTES:

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7. STOREFRONT: VINYL DUAL PANE WINDOWS BY "MILGAURD" OR EQUIVALENT. COLOR SELECTION BY OWNER.

SHEET TITLE: PROPOSED SIDE ELEVATIONS	
DRAWN BY: Deilly E	APPROVED BY: BJ
CHECKED BY: BJ	DATE: 10-11-2024
IN CHARGE: Deilly E	REV.:
PROPOSED APARTMENT BUILDING FOR: MAGDALENO MAGANA 2834 EL PORTAL DR, SAN PABLO, CA 94806 510-610-0992	
 SINBORDES DESIGN 81 SCOTTSDALE CT, CA 94534 DEILYSINBORDES@YAHOO.COM	
SCALE: 1/4"=1'-0"	
A3.1	



SHEET TITLE:
CASEWORK DETAILS

APPROVED BY: **SM**
DATE: **10-11-2024**

DRAWN BY: **Deilly E**
CHECKED BY: **SM**

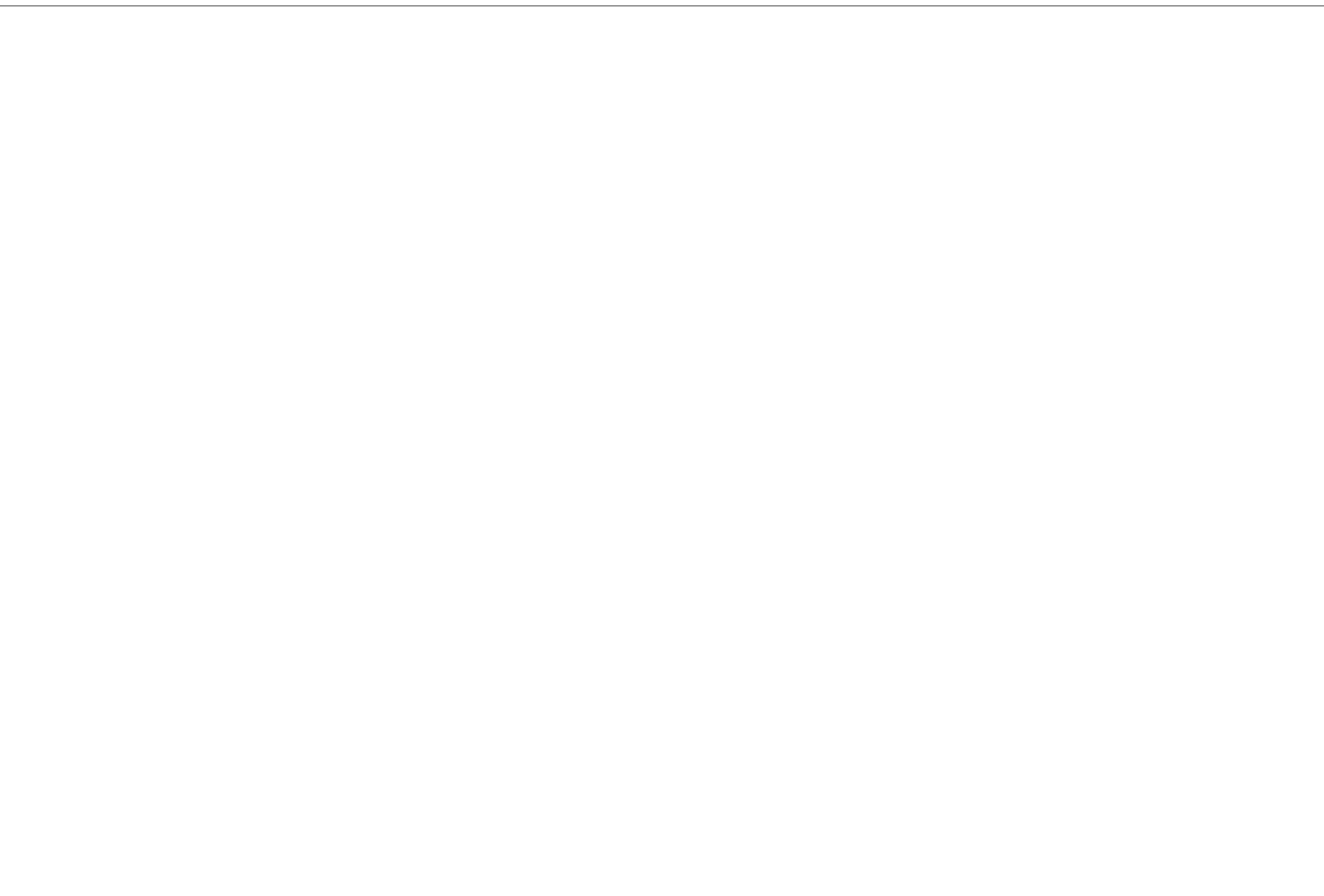
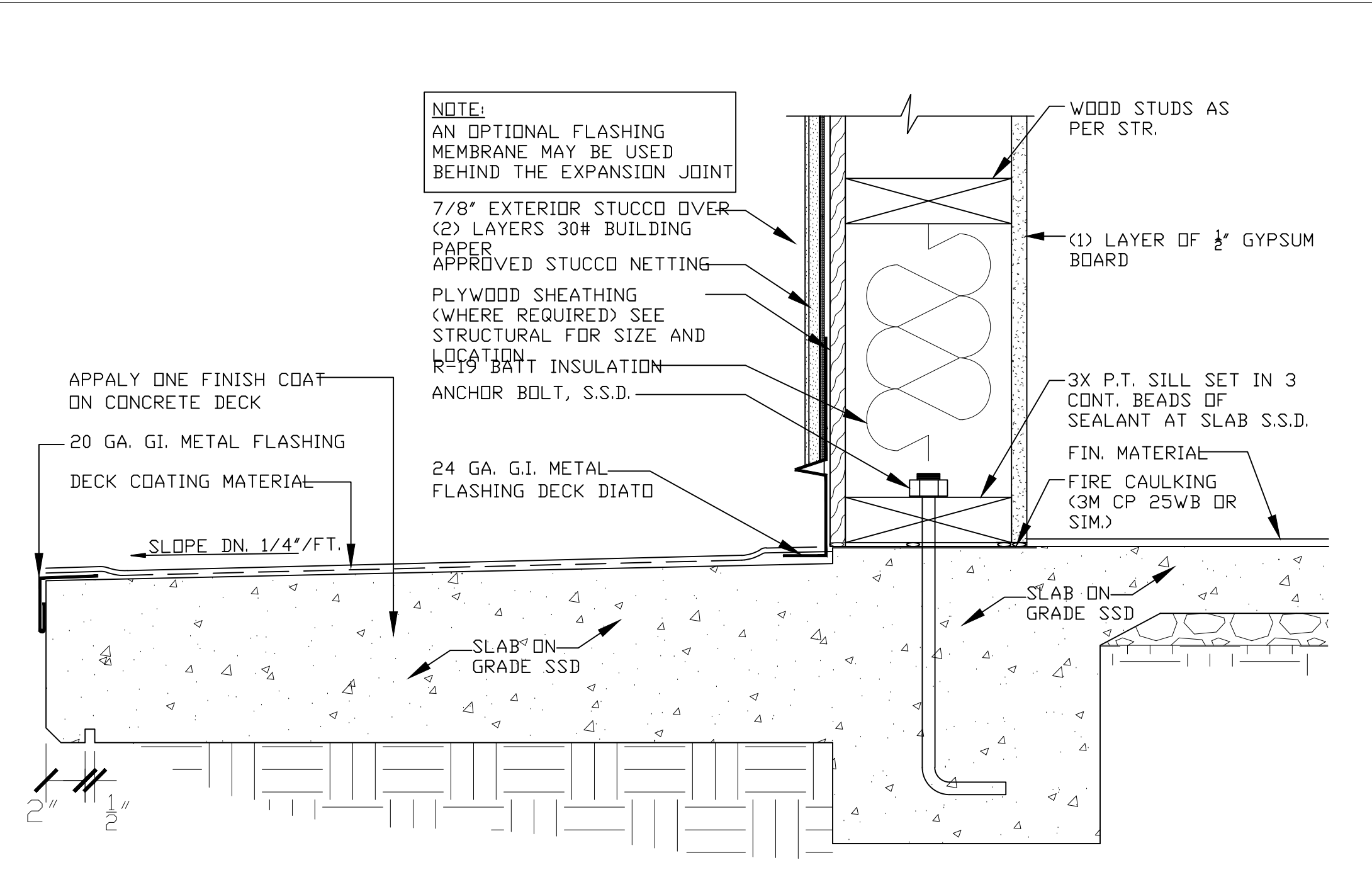
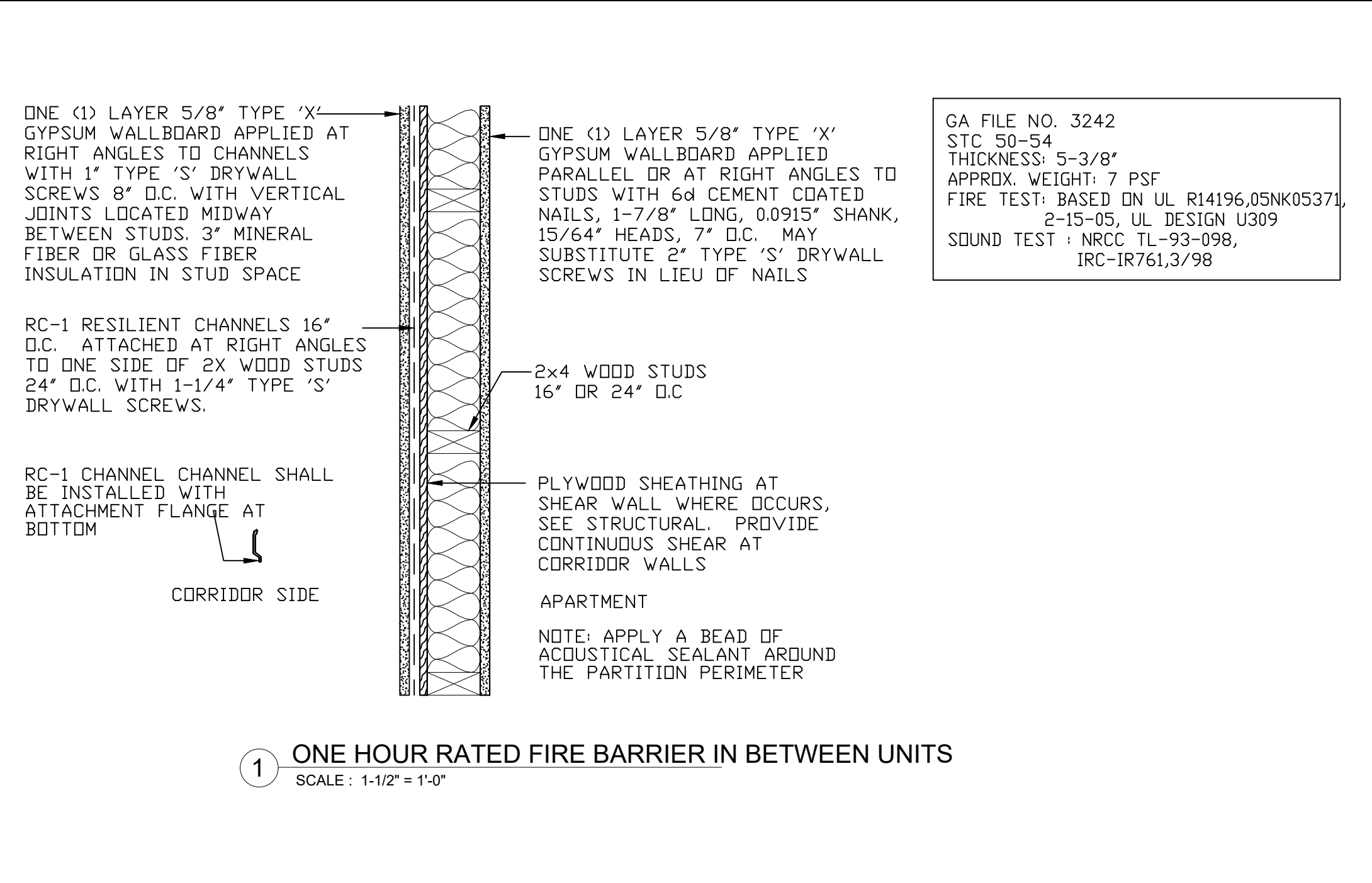
IN CHARGE: **Deilly E**

PROPOSED APARTMENT BUILDING
FOR: MAGDALENO MAGANA
2834 EL PORTAL DR, SAN PABLO, CA 94806
510-610-0992



SCALE: 1"=1'-0"


A3.2



SHEET TITLE: DETAILS

DRAWN BY: Deilly E	APPROVED BY: B.J.	DATE: 01-21-2025	REV.:
CHECKED BY: B.J.			REV.:
IN CHARGE: Deilly E			REV.:

**PROPOSED APARTMENT BUILDING
FOR: MAGDALENO MAGANA
2834 EL PORTAL DR, SAN PABLO, CA 94806
510-610-0992**



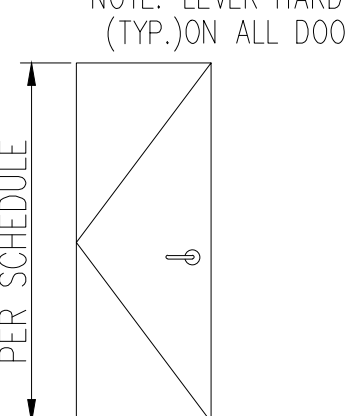
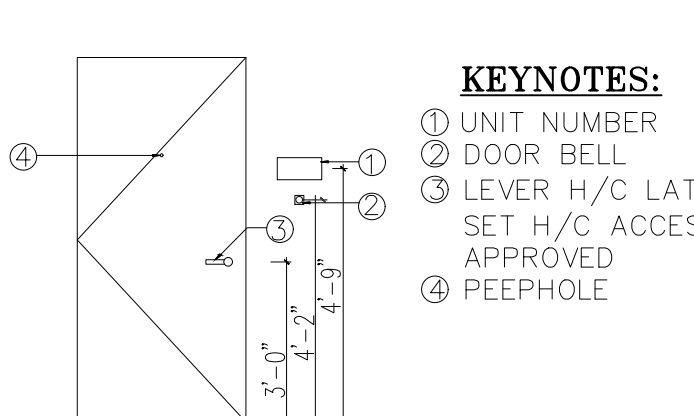
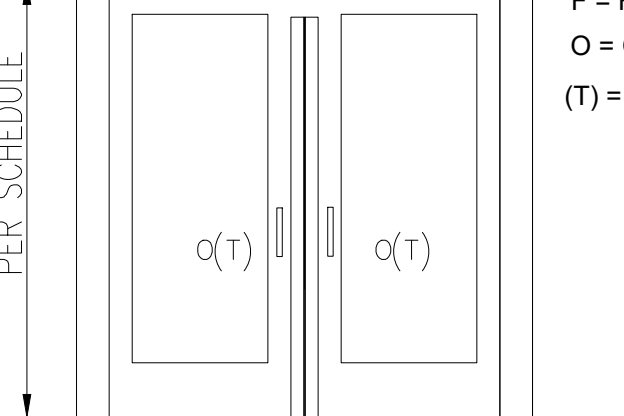
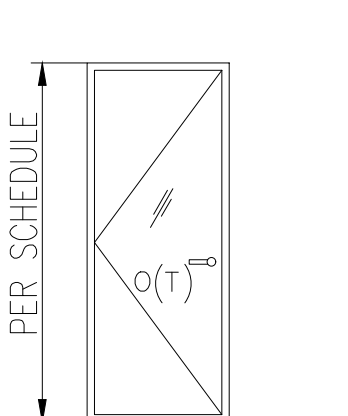
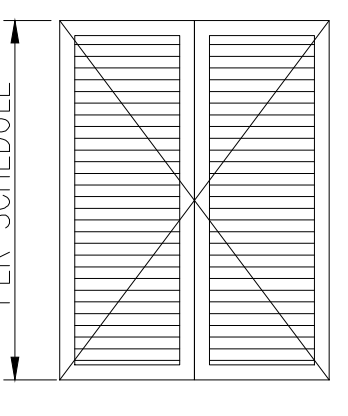
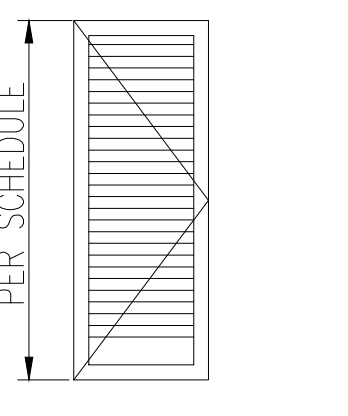
SINBORDES DESIGN
ARCHITECTS AND CONSULTANTS
81 SCOTTSDALE CT, CA 94534
DEILYSINBORDES@YAHOO.COM

SCALE: 1" = 1'-0"

A3.3

GENERAL NOTES:
 1. DOOR AND FRAME TO BE PAINTED TO MATCH CORRIDOR FRAME
 2. OVERHEAD DOOR AND FRAME TO BE PREFINISHED.; REF ELEVATION FOR COLOR

ABBREVIATIONS:
 SCW: SOLID CORE WOOD
 HM: HOLLOW METAL
 WI: WROUGHT IRON

			
A SWING DOOR	A.1 ENTRANCE DOOR	B.1 SWING & FIXED GLASS DOOR (TEMPERED)	C.1 GLASS DOOR (TEMPERED)
			
E SWING LOUVER	E.1 SWING LOUVER		

**SHEET TITLE:
WINDOWS & DOOR
ELEVATIONS**

DRAWN BY: Deilly E	APPROVED BY: BJ	DATE: 04-28-2025	REV.:
CHECKED BY: BJ	REV.:	REV.:	REV.:
IN CHARGE: Deilly E	REV.:	REV.:	REV.:

**PROPOSED APARTMENT BUILDING
 FOR: MAGDALENO MAGANA
 2834 EL PORTAL DR, SAN PABLO, CA 94806
 510-610-0992**



ARCHITECTURE AND COMMERCIAL ARTS
SINBORDES DESIGN
81 SCOTTSDALE CT, CA 94034
 510-610-0992
 DEILYSINBORDES@YAHOO.COM

SCALE: 1/4"=1'-0"

A3.4