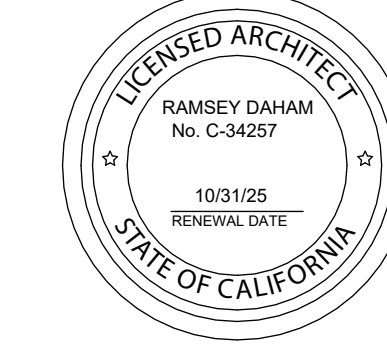
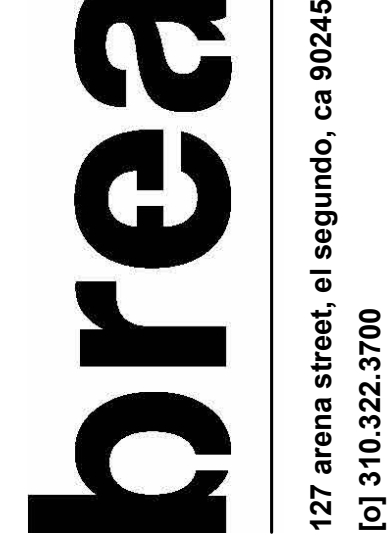


breakform design



1982 - 1988 23RD ST
SAN PABLO, CA 94806

Revision Schedule	
Revision Number	Revision Date
1	3/21/2024

COVER

DRAWN _____ JS

CHECKED _____ PNK

DATE _____ 3/13/2025 12:24:26 PM

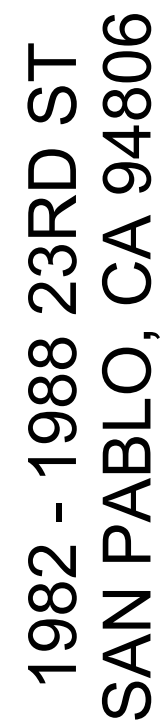
SCALE _____

JOB # _____ 21-A016

A0.00



127 arena st, el segundo, ca 90245
[o] 310.322.3700



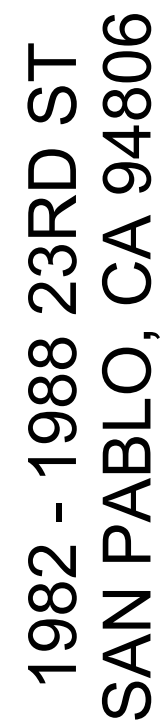
ZONING CODE
AREA
CALCULATIONS

CHECKED	PNK
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SCALE $3/32" = 1'-0"$

A0.26



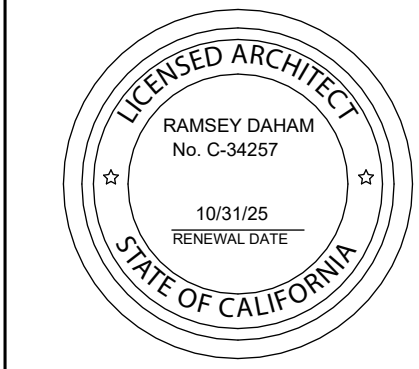


BUILDING CODE AREA CALCULATIONS

A0.27



BUILDING CODE FLOOR AREA				
FLOOR	RESIDENTIAL	COMMON	COVERED	TOTAL
GROUND FLOOR	627 SF	7,169 SF	813 SF	8,611 SF
SECOND FLOOR	972 + 4,740 SF		424 SF	6,136 SF
TOTAL				14,747 SF



1982 - 1988 23RD ST
SAN PABLO, CA 94806

[illegible]

SCHOOL FEE AREA CALCULATIONS

DRAWN	JS
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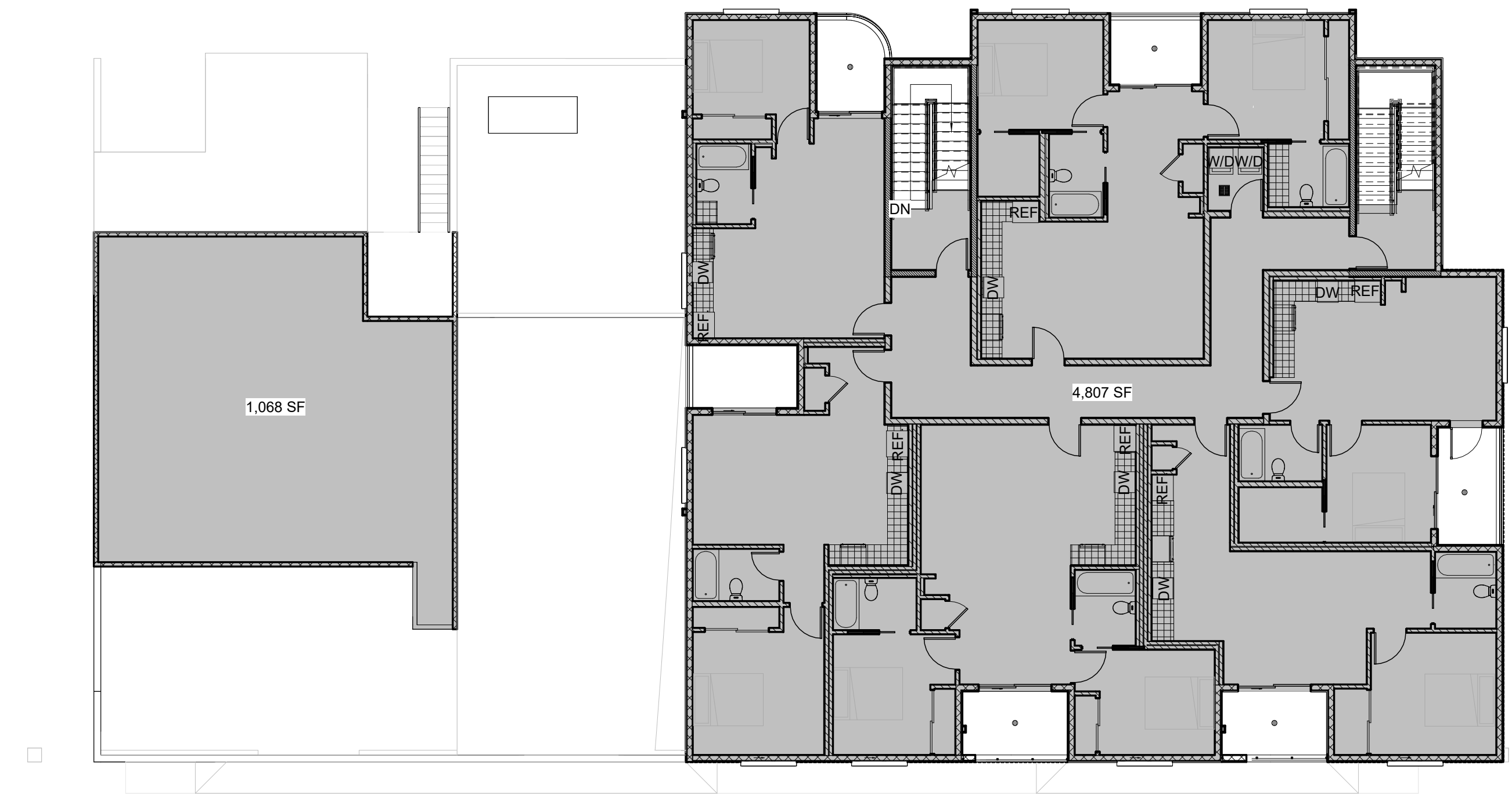
CHECKED	PNK
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DATE 3/13/2025 12:24:40 PM

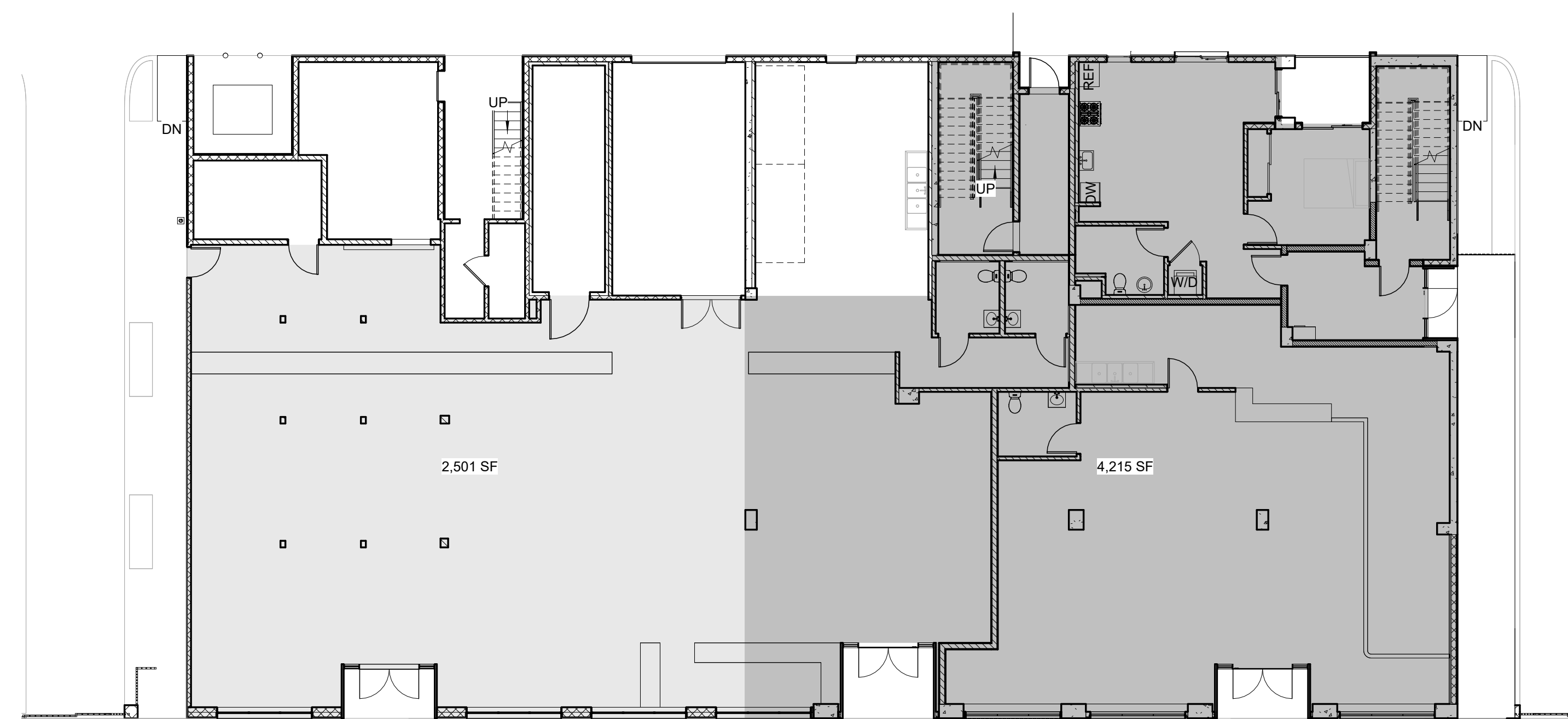
SCALE $3/32" = 1'-0"$

JOB #	21-A016
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A0.28




SCHOOL FEES - SECOND FLOOR
2

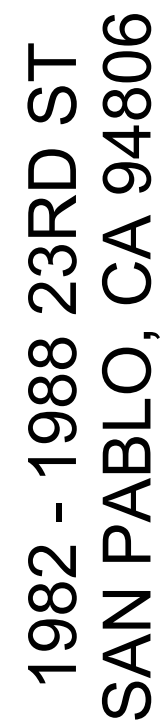


23RD STREET


 SCHOOL FEES- GROUND FLOOR
 $\frac{3}{32}'' = 1'-0''$

SCHOOL FEES FLOOR AREA	
GROUND FLOOR	6,716 SF
SECOND FLOOR	4,807 SF
TOTAL	11,523 SF

127 arena st, el segundo, ca 90245
[o] 310.322.3700



F.A.R.

CALCULATIONS

DRAWN

JS

CHECKED

PNK

DATE





3/13/2025 12:24:45 PM

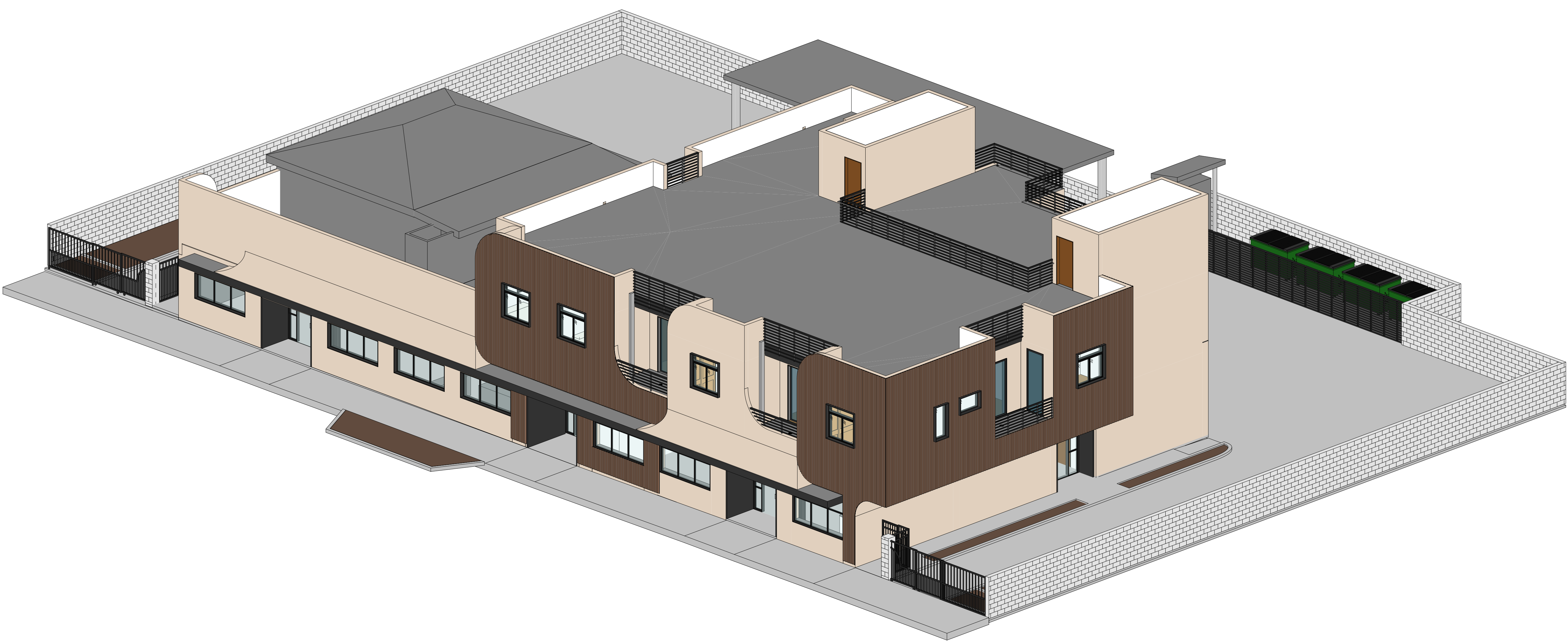
SCALE

3/32" = 1'-0"

JOB #

21-A016

F.A.R. CALCULATIONS		
GROUND FLOOR		7,751 SF
-COVERED		813 SF
SECOND FLOOR		5,367 SF
-COVERED		420 SF
TOTAL PROVIDED		14,351 SF



127 arena st, el segundo, ca 90245
[o] 310.322.3700



3D VIEWS

DRAWN	JS
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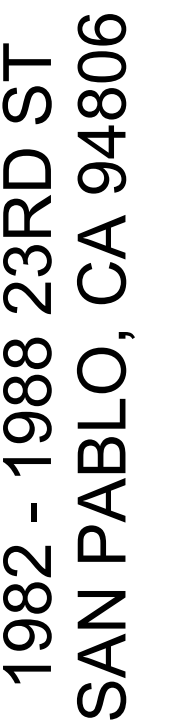
CHECKED	Checker
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DATE 3/13/2025 12:24:50 PM

SCALE

JOB #	21-A016
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A0.33



EXISTING / DEMO

DRAWN JS

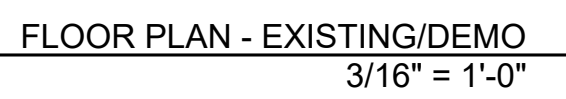
CHECKED PNK

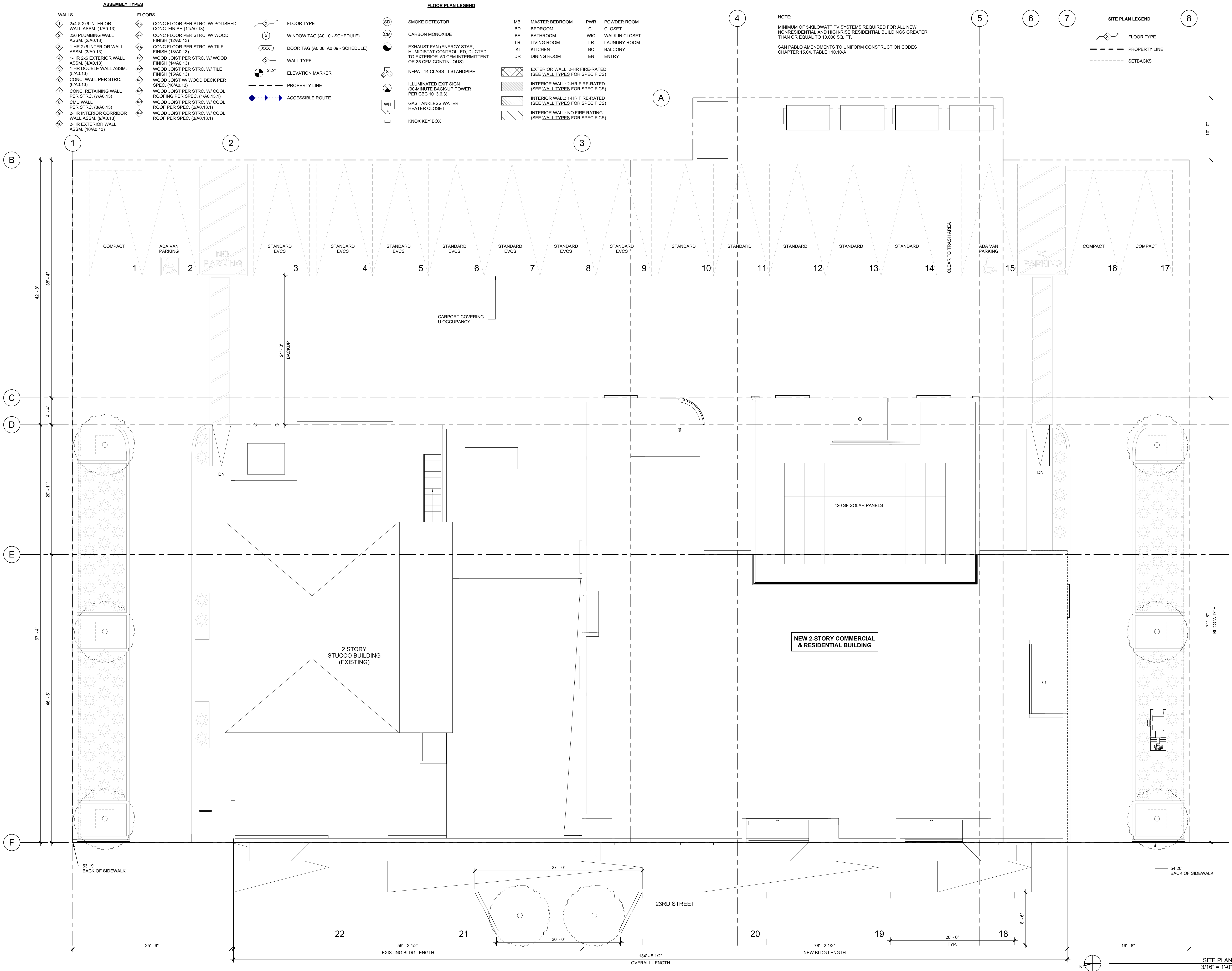
DATE 3/13/2025 12:24:51 PM

SCALE $\frac{3}{16}'' = 1'-0''$

JOB # 21-A016

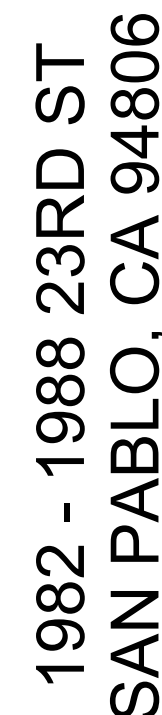
A0.34






Revision Number	Revision Date
1	03/21/2024

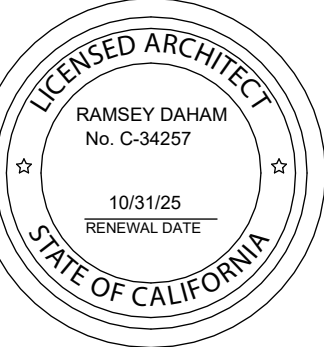
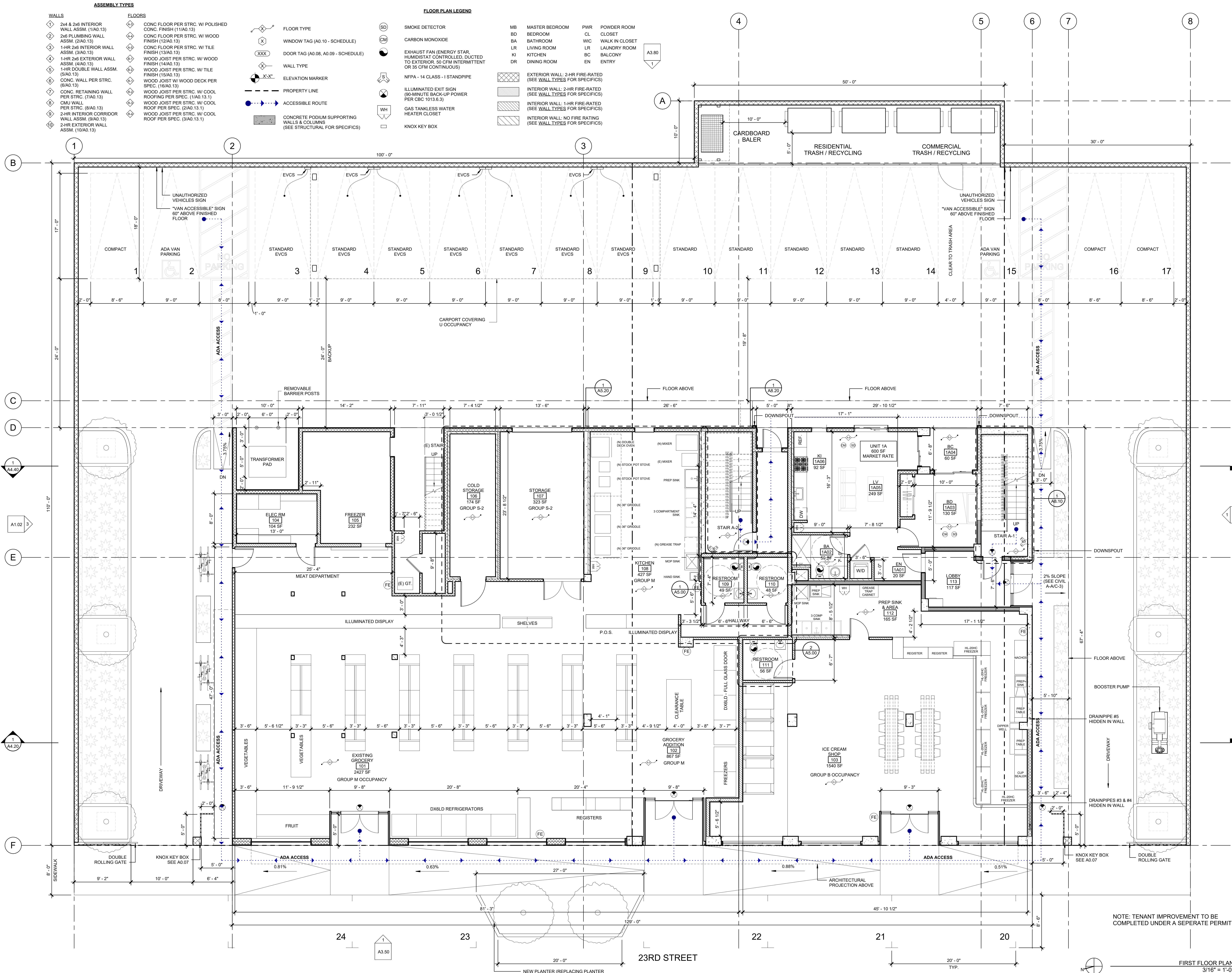
127 arena st, el segundo, ca 90245
[o] 310.322.3700



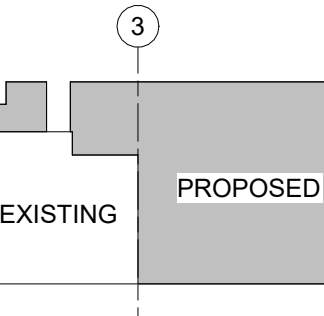
EXISTING & DEMO PLANS

A2.00





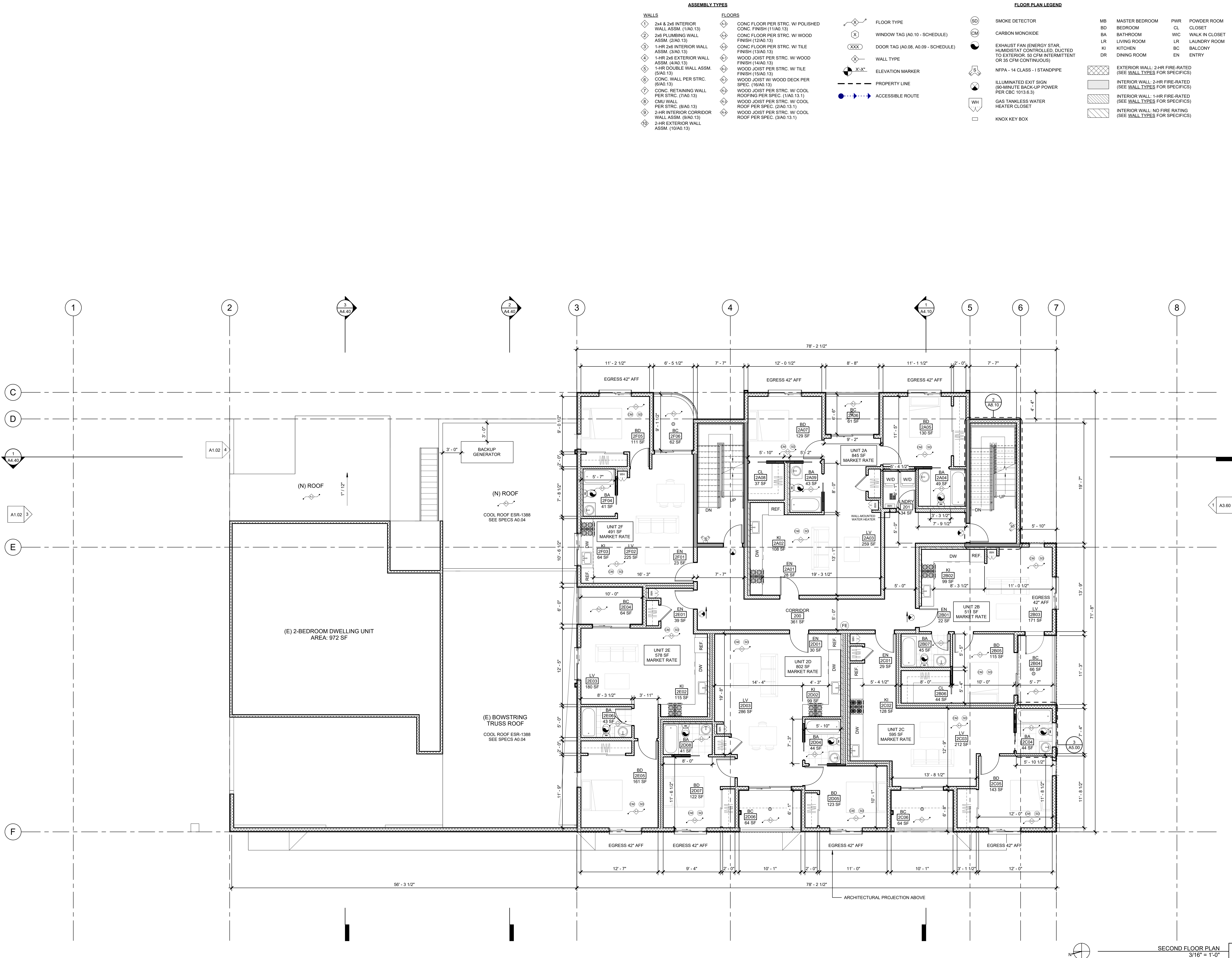
1982 - 1988 23RD ST
SAN PABLO, CA 94806



Revision Schedule	
Revision Number	Revision Date
1	03/21/2024

PROPOSED PLANS

DRAWN JS
CHECKED PNK
DATE 3/13/2025 12:24:58 PM
SCALE As indicated
JOB # 21-A016



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127 arena st, el segundo, ca 90245
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1982 - 1988 23RD ST
SAN PABLO, CA 94806

EXISTING PROPOSED

Revision Schedule	
Revision Number	Revision Date
1	03/21/2024

PROPOSED PLANS

DRAWN JS

CHECKED PNK

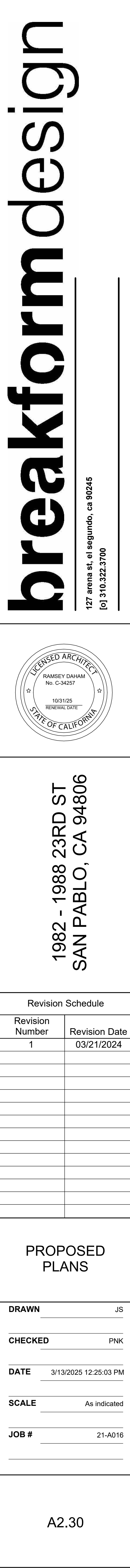
DATE 3/13/2025 12:25:02 PM

SCALE As indicated

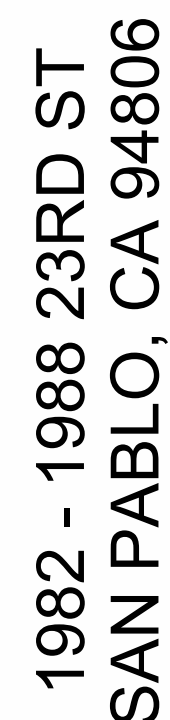
JOB # 21-A016

A2.20

1



127 arena st, el segundo, ca 90245
[o] 310.322.3700



EXISTING ELEVATIONS

A3.00

1

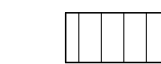
 TO BE REMOVED



ELEVATION LEGEND



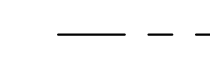
SMOOTH STUCCO



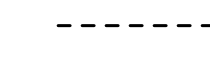
METAL SIDING



METAL FLASHING



PROPERTY LINE (PL)



1HR RATED WALL

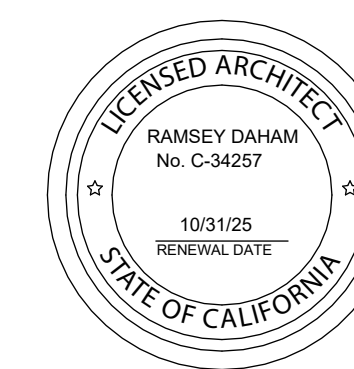
WINDOW TAG



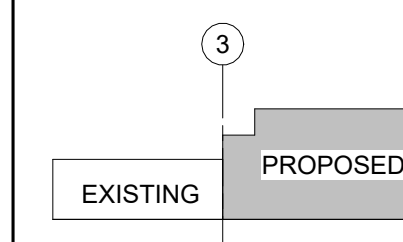
DOOR TAG

breakform design

127 arena st, el segundo, ca 90245
[o] 310.322.3700



1982 - 1988 23RD ST
SAN PABLO, CA 94806



Revision Schedule

Revision Number	Revision Date
1	03/21/2024

ELEVATIONS

DRAWN	JS
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CHECKED PNK

DATE 3/13/2025 12:25:16 PM

SCALE	As indicated
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JOB #	21-A016
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A3.10

1

WEST ELEVATION
3/16" = 1'-0"

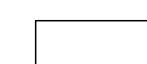
ELEVATION LEGEND



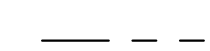
SMOOTH STUCCO



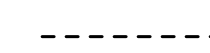
METAL SIDING



METAL FLASHING



PROPERTY LINE (PL)



1HR RATED WALL



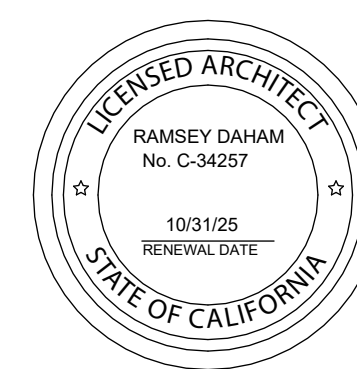
WINDOW TAG



DOOR TAG

breakformdesign

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[9] 310.322.3700



1982 - 1988 23RD ST
SAN PABLO, CA 94806

Revision Schedule

[illegible]

ELEVATIONS

DRAWN	JS
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DATE 3/13/2025 12:25:18 PM

SCALE	As indicated
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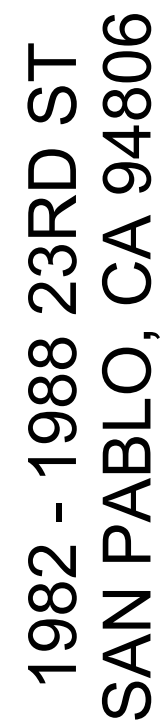
JOB #	21-A016
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A3.20

SOUTH ELEVATION
3/16" = 1'-0"

1

127 arena st, el segundo, ca 90245
[o] 310.322.3700



ELEVATIONS

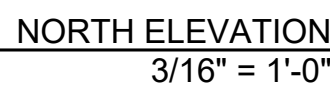
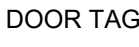
A3.30

ELEVATION LEGEND



PROPERTY LINE (PL)

1HR RATED WALL



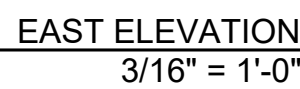
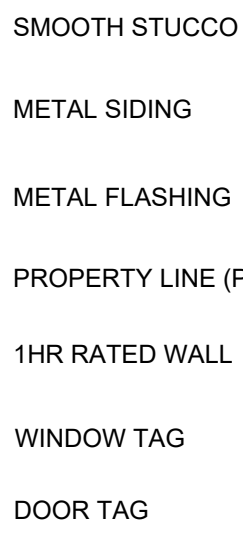
127 arena st, el segundo, ca 90245
[o] 310.322.3700

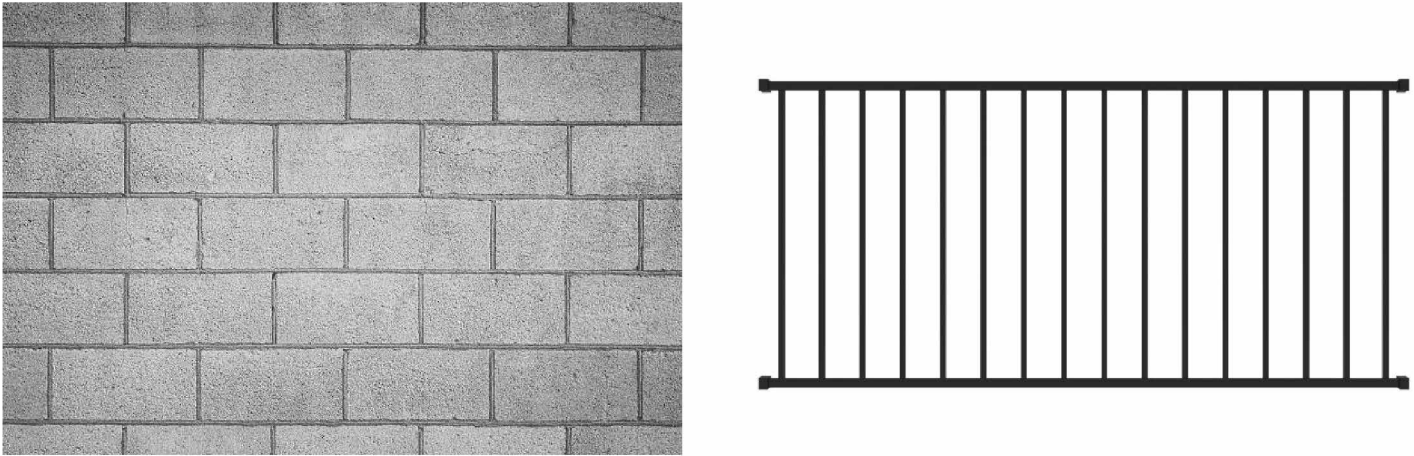


ELEVATIONS

A3.40


ELEVATION LEGEND






FENCE:
- CONCRETE BLOCK

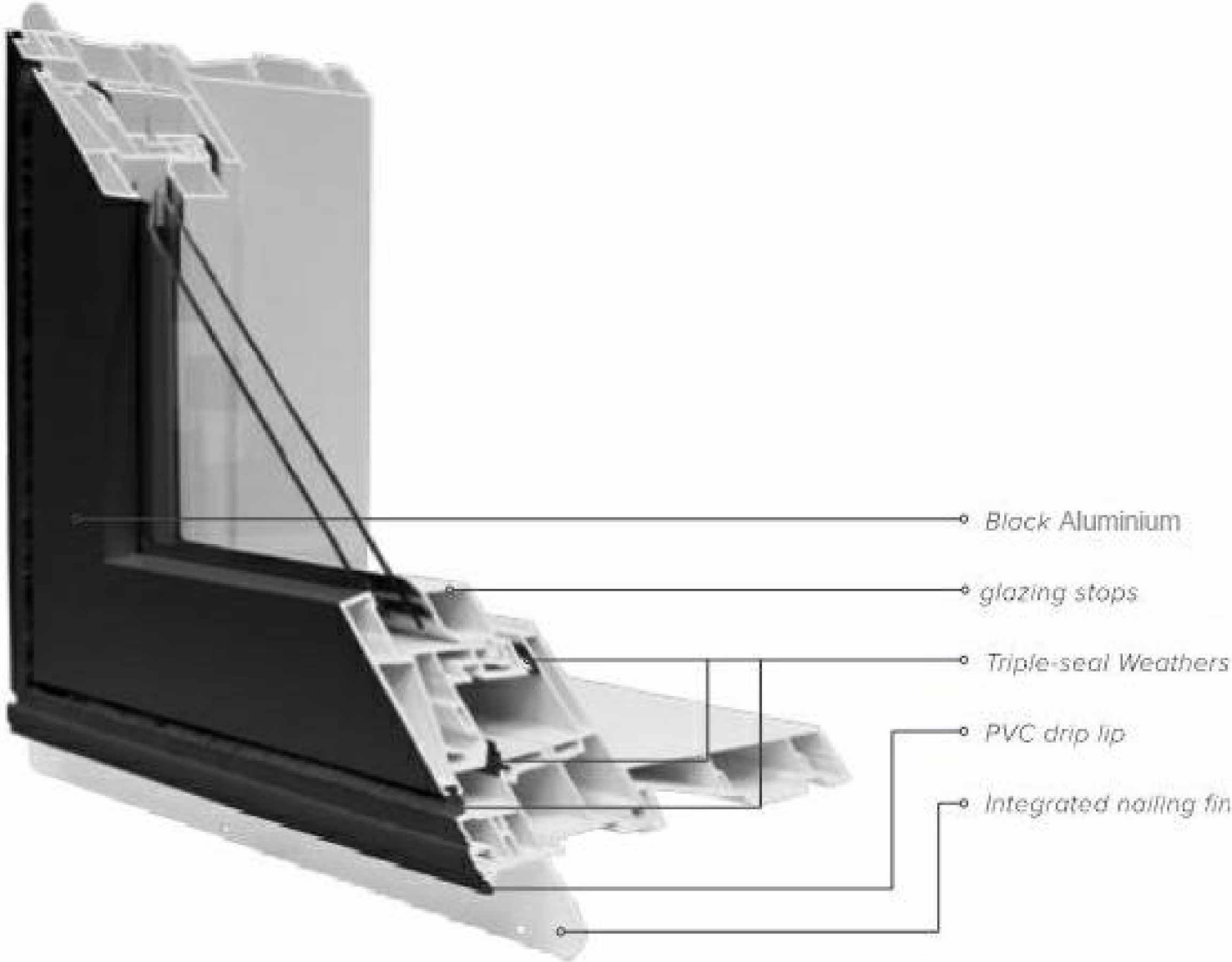
GATE:
- MANUFACTURER: BAY AREA AUTOMATIC GATES
- TYPE: 1" SQUARE TUBE STEEL PICKETS, MAXIMUM 6" SPACING
- COLOR: BLACK PAINT



- MANUFACTURER: OMEGA
- COLOR: ADOBE SAND (BEHR #N240-2)



- MANUFACTURER: AEP SPAN
- COLOR: COOL SIERRA TAN
- TYPE: FLEX SERIES 1.2FX10-12
- ORIENTATION: VERTICAL



- MANUFACTURER: ALL WEATHER WINDOWS & DOORS
- COLOR: BLACK
- TYPE: ARCHITECTURAL ALUMINUM (SERIES 6000)

Block Aluminium
glazing stops
Triple-seal Weathers
PVC drip lip
Integrated nailing fin

ELEVATION LEGEND

(1) SMOOTH STUCCO

(2) METAL SIDING

(3) ALUMINUM FLASHING

PROPERTY LINE (PL)

1HR RATED WALL

WINDOW TAG

DOOR TAG

FENCE & GATE

4

COLORTEK SMOOTHCOAT EXTERIOR STUCCO

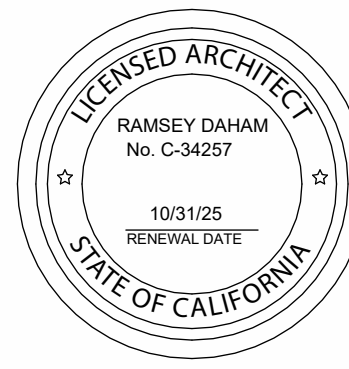
3

EXTRUDED ALUMINUM SIDING

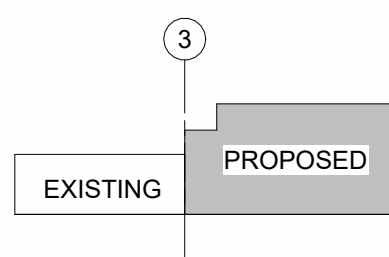
2

EXTERIOR WINDOWS / DOORS

1



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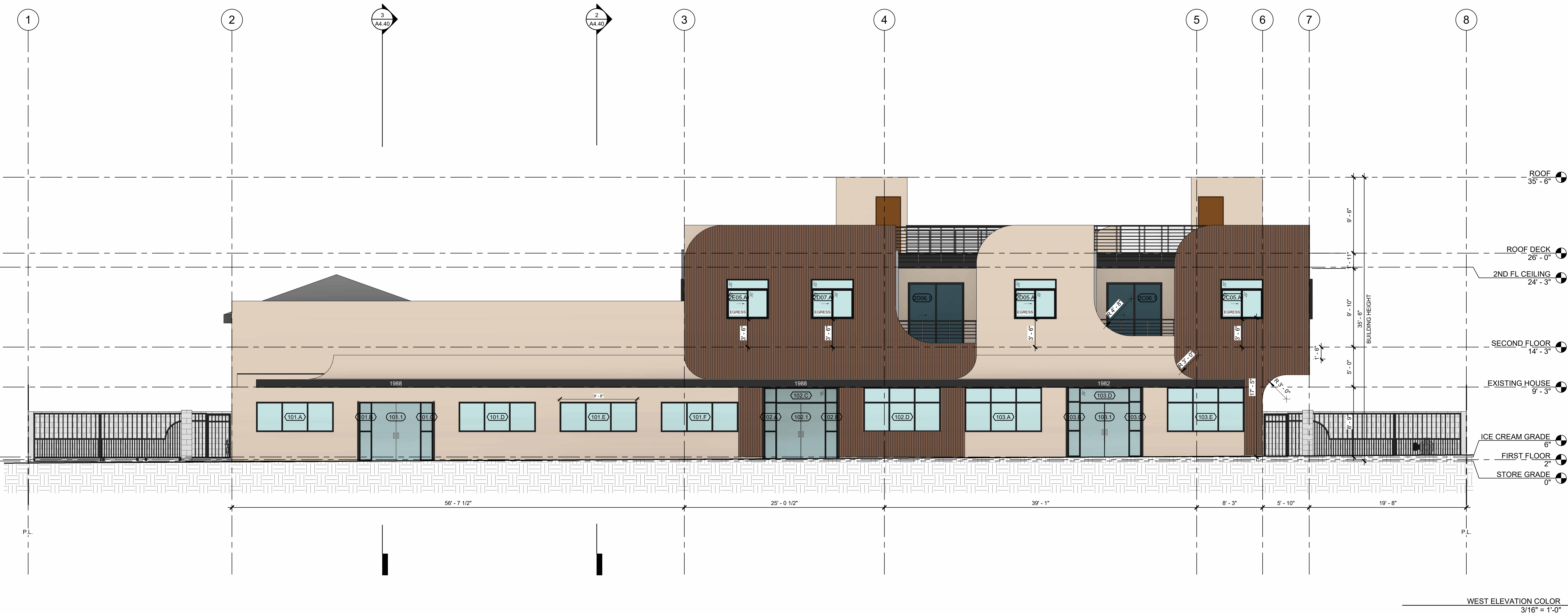
Revision Schedule

Revision Number	Revision Date
1	03/21/2024

ELEVATIONS
COLOR

DRAWN	JS
CHECKED	PNK
DATE	3/13/2025 12:25:47 PM
SCALE	As indicated
JOB #	21-A016

A3.50



WEST ELEVATION COLOR
3/16" = 1'-0"

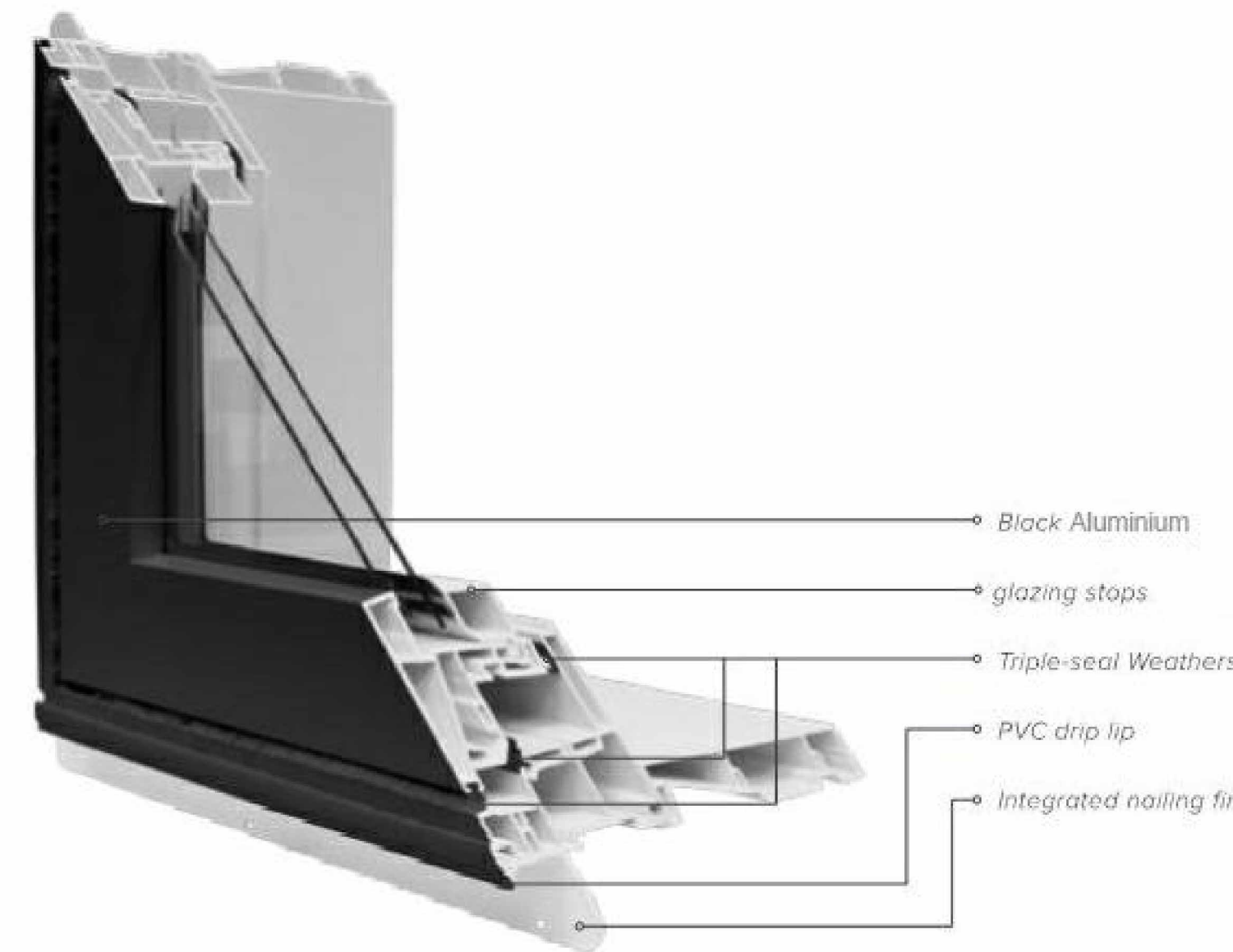
- MANUFACTURER: OMEGA
- COLOR: ADOBE SAND (BEHR #N240-2)

COLORTEK SMOOTHCOAT EXTERIOR STUCCO	3
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- MANUFACTURER: AEP SPAN
- COLOR: COOL SIERRA TAN
- TYPE: FLEX SERIES 1.2FX10-12
- ORIENTATION: VERTICAL

EXTRUDED ALUMINUM SIDING	2
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- MANUFACTURER: ALL WEATHER WINDOWS & DOORS
- COLOR: BLACK
- TYPE: ARCHITECTURAL ALUMINUM (SERIES 6000)

EXTERIOR WINDOWS / DOORS	1
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ELEVATION LEGEND



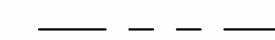
(1) SMOOTH STUCCO



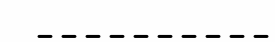
(2) METAL SIDING



(3) ALUMINUM FLASHING



PROPERTY LINE (PL)



1HR RATED WALL



WINDOW TAG



DOOR TAG

This architectural elevation drawing shows a building facade with the following features and dimensions:

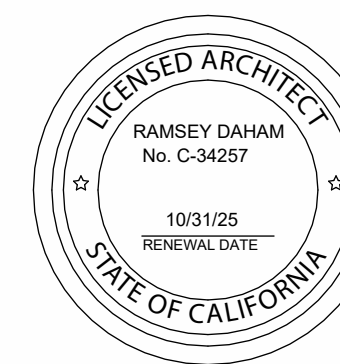
- Grid Lines:** Vertical grid lines are labeled A, B, C, D, E, and F from right to left. A north arrow is located above grid line D.
- Levels and Heights:**
 - ROOF:** 35' - 6"
 - ROOF DECK:** 26' - 0"
 - 2ND FL CEILING:** 24' - 3"
 - SECOND FLOOR:** 14' - 3"
 - EXISTING HOUSE:** 9' - 3"
 - ICE CREAM GRADE:** 6"
 - FIRST FLOOR:** 2"
 - STORE GRADE:** 0"
- Building Dimensions:**
 - BUILDING HEIGHT:** 35' - 6"
 - Overall Width:** 67' - 4"
 - Section Widths:** 37' - 10", 4' - 2", 25' - 4", 4' - 4"
 - Vertical Dimensions (Left Side):** 8' - 5", 7' - 3", 5' - 0", 9' - 10", 9' - 6", 3' - 6" MIN.
 - Vertical Dimensions (Right Side):** 3' - 0", R 3' - 0", 4' - 4"
- Architectural Details:**
 - Windows:** Labeled 2C05.E, 2C04.A, 2B03.B, 2B04.B, 113.A, 113.1, 113.B, 113.C.
 - Doors:** Labeled 2B04.B, 113.C.
 - Other Features:** GATE, START OF CURVE, EXISTING HOUSE, ICE CREAM GRADE, FIRST FLOOR, STORE GRADE.

SOUTH ELEVATION COLOR
3/16" = 1'-0"

1

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Revision Schedule

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ELEVATIONS
COLOR

DRAWN	JS
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DATE 3/13/2025 12:26:07 PM

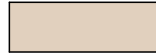


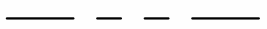



SCALE	As indicated
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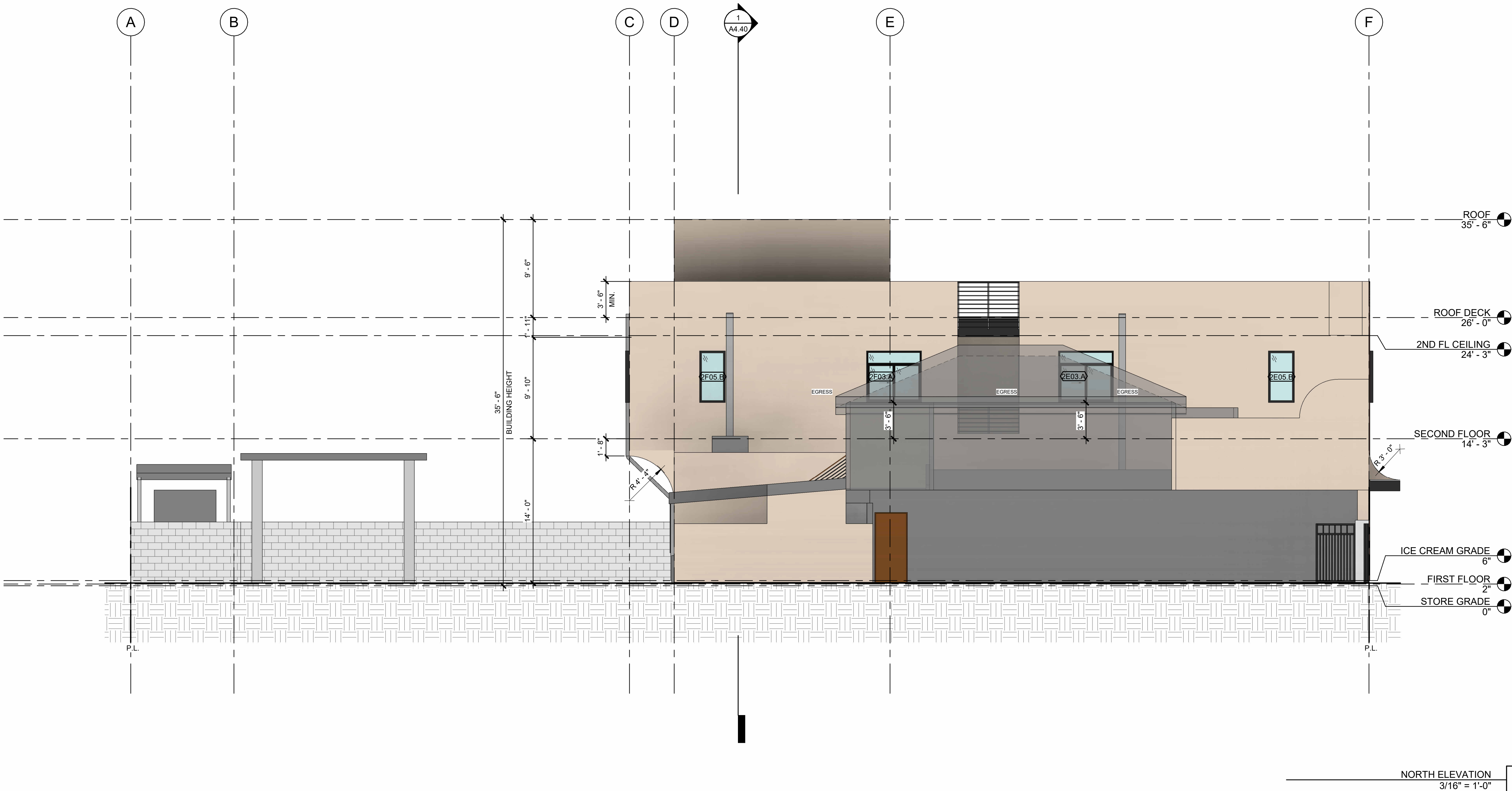
JOB # 21-A016

A3.60

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<div></div> <div><p>- MANUFACTURER: OMEGA</p><p>- COLOR: ADOBE SAND (BEHR #N240-2)</p></div>	<div></div>	<div></div> <div><p>- MANUFACTURER: AEP SPAN</p><p>- COLOR: COOL SIERRA TAN</p><p>- TYPE: FLEX SERIES 1.2FX10-12</p><p>- ORIENTATION: VERTICAL</p></div>	<div></div> <div><p>- MANUFACTURER: ALL WEATHER WINDOWS & DOORS</p><p>- COLOR: BLACK</p><p>- TYPE: ARCHITECTURAL ALUMINUM (SERIES 6000)</p></div>		
COLORTEK SMOOTHCOAT EXTERIOR STUCCO	3	EXTRUDED ALUMINUM SIDING	2	EXTERIOR WINDOWS / DOORS	1

ELEVATION LEGEND	
	(1) SMOOTH STUCCO
	(2) METAL SIDING
	(3) ALUMINUM FLASHING
	PROPERTY LINE (PL)
	1HR RATED WALL
	WINDOW TAG
	DOOR TAG



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[o] 310.322.3700

1982 - 1988 23RD ST
SAN PABLO, CA 94806

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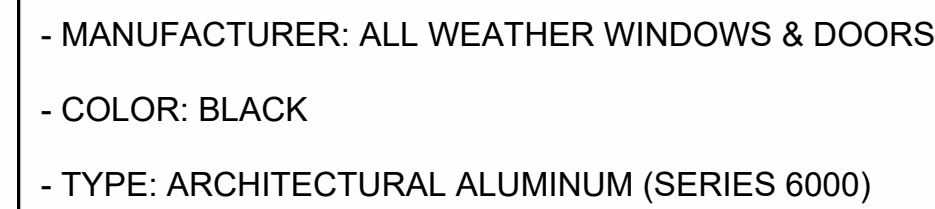
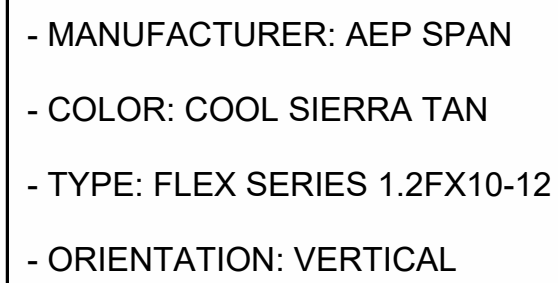
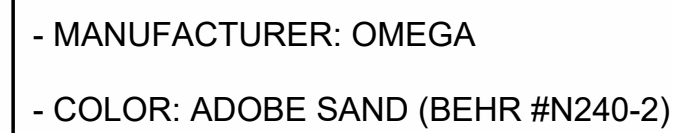
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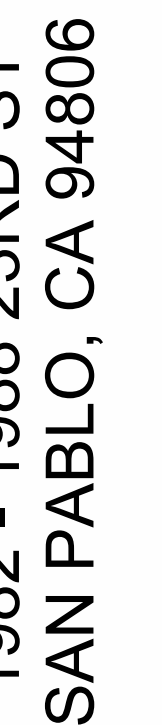
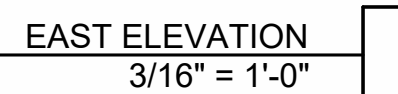
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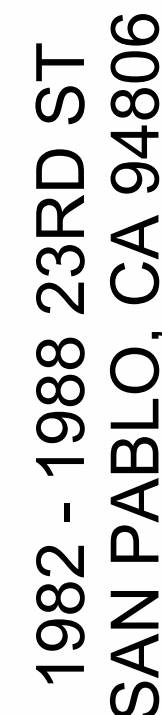
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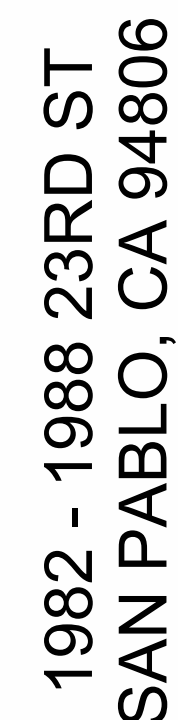
PROPOSED SECTIONS

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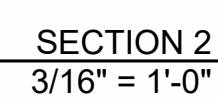


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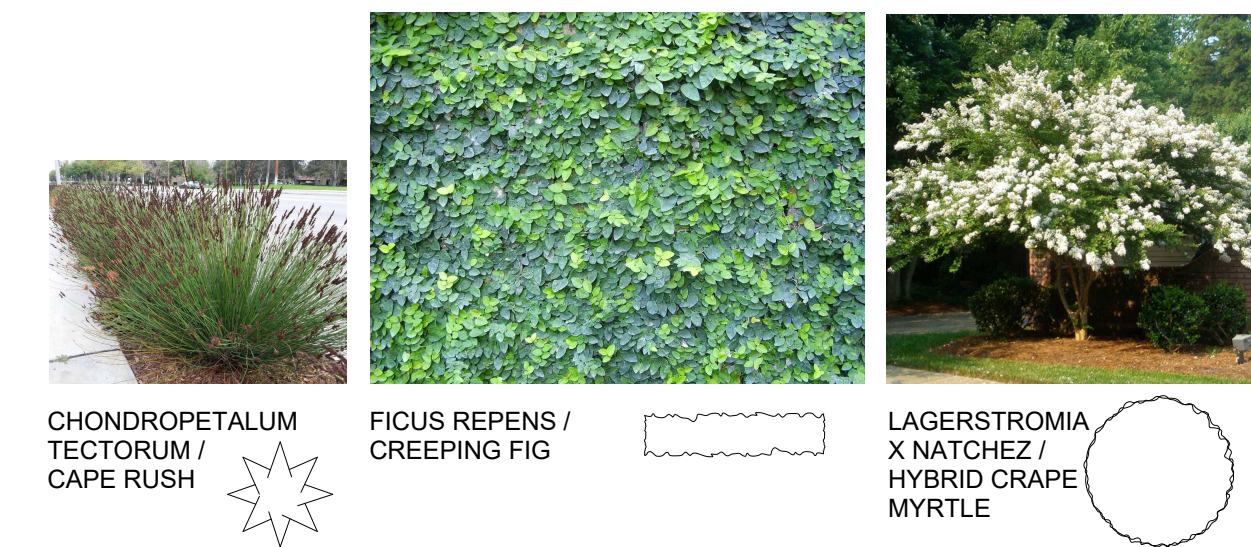





PROPOSED SECTIONS



A4.20



1. QUANTITIES GIVEN FOR PLANT MATERIALS SPECIFIED FOR "ON CENTER" SPACING ARE SHOWN FOR CONVENIENCE ONLY AND ARE SUBORDINATE TO THE SPACING GIVEN. VERIFY AND SUPPLY SUFFICIENT NUMBER OF PLANTS TO FULFILL SPACING REQUIREMENTS.
2. ALL HEADER AND BAMBOO ROOT BARRIERS SHALL BE LOCATED BY THE ARCHITECT ON SITE.
3. CONTRACTOR SHALL INSTALL PLANT MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS, DRAWINGS AND DETAILS.
4. CONTRACTOR SHALL PROVIDE A MAINTENANCE PERIOD OF NOT LESS THAN 90 DAYS COMMENCING AT THE DATE OF FINAL ACCEPTANCE. SUCH MAINTENANCE SHALL INCLUDE ALL CARE PERTAINING TO ALL WORK INSTALLED AS PART OF THESE CONTRACT DOCUMENTS.
5. THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK.
6. THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES LISTED FOR CONVENIENCE OF CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITIES DESIGNATED.
7. REMOVE ALL DEBRIS, WEEDS, EXCESS MATERIAL AND ROCKS LARGER THAN 1" IN DIAMETER FROM PLANTING AREAS PRIOR TO PREPARATION & AGAIN PRIOR TO PLANTING.
8. SEE DETAILS AND SPECIFICATIONS FOR STAKING METHOD, PLANT PIT DIMENSIONS, SOIL PREPARATION, AND BACKFILL REQUIREMENTS.
9. ALL PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
10. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
11. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.
12. GROUNDCOVER PLANTING SHALL BE CONTINUOUS UNDER ALL TREES AND SHRUBS. GROUNDCOVER SHALL BE PLANTED ACCORDING TO SPACING ON PLANT LEGEND.
13. TREES SHALL BE LOCATED A MINIMUM OF 5' FROM WALLS, OVERHEADS, WALKS, HEADERS, AND OTHER TREES WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. UNLESS OTHERWISE STATED, CONTRACTOR SHALL BE RESPONSIBLE TO THE LANDSCAPE ARCHITECT FOR CONTRACTORS LIABILITY TO RELOCATE THE MATERIALS.



PLANTING LEGEND								
SYMBOL	QTY.	SIZE	SPREAD	BOTANICAL NAME / COMMON NAME	NATIVE	WUCOLS WATER USE TYPES	WATER USE VALUES	HYDRO ZONE
	46	10'- 15'	3'- 6'	FICUS REPENS / CREEPING FIG	NO	MODERATE	0.5	2
	146	2'- 3'	3'- 4'	CHONDROPETALUM TECTORUM / CAPE RUSH	NO	LOW	0.5	1
	6	25'- 30'	6'- 15'	LAGERSTROMIA TUSCARORA / CRAPE MYRTLE	NO	LOW	0.3	1

LANDSCAPE		HARDSCAPE	
	TURF AREA 0 SF	IMPERVIOUS	10,508 SF
	PLANT AREA 1,322 SF	PERVIOUS/ PERMEABLE	0 SF
TOTAL 1,322 SF		TOTAL	10,508 SF

NOTE: ALL IMPERVIOUS AND PERVIOUS/ PERMEABLE CONCRETE TO BE UNCOLORED CONCRETE (U.C.) WITH SMOOTH FINISH.

14. ALL PLANTING AREAS SHALL BE LOOSENOED TO A DEPTH OF 8". APPLY 4 C.Y. OF ORGANIC AMENDMENT AND 15 LBS. OF 10-10-10 FERTILIZER PER 1000 S.F. AND BLEND WITH THE TOP 8" OF SOIL. THIS AMENDMENT IS FOR BIDDING PURPOSES, AND SHALL BE SUPERCEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.
15. FOR ALL TREES AND SHRUB PLANTINGS, THE FOLLOWING PREPARED SOIL MIX SHALL BE USED FOR BACKFILL IN THE PLANTERS. THIS MIX IS FOR BIDDING PURPOSES AND SHALL BE SUPERCEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.
- SITE SOIL - 6 PARTS BY VOLUME
ORGANIC AMENDMENT - 4 PARTS BY VOLUME
SOIL CONDITIONER / FERTILIZER 10-10-10 / 10-10-10 PER C.Y. OF MIX
IRON SULFATE - 2 LBS. PER C.Y. OF MIX
16. TURF IS NOT ALLOWED ON SLOPES GREATER THAN 25% WHERE THE TOE OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE HARDSCAPE.
17. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.
18. A MINIMUM 2-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVER, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
19. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
20. I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE THAT COMPLIES WITH THE PERFORMANCE APPROACH.
3. SPRAY OR ROTOR HEADS SHALL BE ON POP-UPS: 6" FOR LAWN, LOW GROUNDCOVER OR PARKED CAR OVERHANG AREAS, 12" FOR SHRUB AREAS. HEADS ON RISERS ARE ALLOWED ONLY ADJACENT TO WALLS WITH LIMITED SPACE FOR POP-UPS.
4. LOCATE SPRAY HEADS 24" FROM NON-PERVIOUS PAVING TO PREVENT OVERSPRAY. EXCEPTION ALLOWED IF ADJACENT SURFACE IS PERMEABLE OR IF USING ALTERNATIVE TECHNOLOGY IRRIGATION. ROTATOR OR ROTARY HEADS MAYBE LOCATED 12" FROM PAVING.
5. CONTRACTOR SHALL REPLACE ANY EXISTING IRRIGATION CONTROLLER WITH A MODULE AND SENSOR TO PROVIDE WEATHER BASED INFORMATION THAT WILL AUTOMATE THE IRRIGATION RUNTIMES BASED ON WEATHER. SEE HIGER SOLAR SYNC, RAINBIRD ET MANAGER OR EQUIVALENT.
6. THE PLANTING AND IRRIGATION SYSTEM SHALL BE COMPLETED BY THE DEVELOPER/BUILDER PRIOR TO THE CLOSE OF ESCROW OF 50 PERCENT OF THE UNITS OF THE PROJECT OR PHASE.
7. SIXTY DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION, THE LANDSCAPE PROFESSIONAL SHALL SUBMIT TO THE HOMEOWNERS/PROPERTY OWNERS ASSOCIATION A CERTIFICATE OF SUBSTANTIAL COMPLETION (12.40 G LAMC.)
8. THE DEVELOPER/BUILDER SHALL GUARANTEE ALL TRESS AND IRRIGATION FOR A PERIOD OF SIX MONTHS AND ALL OTHER PLANS FOR A PERIOD OF 60 DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION.
9. PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
10. CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.

DATE _____ SIGNED _____

21. AT THE TIME OF FINAL INSPECTION THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

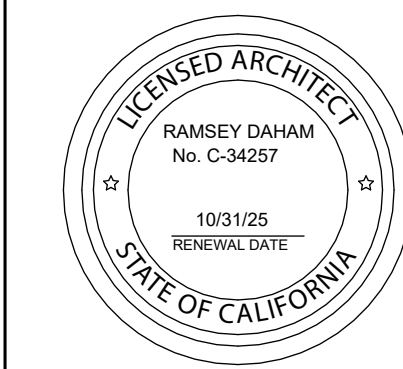
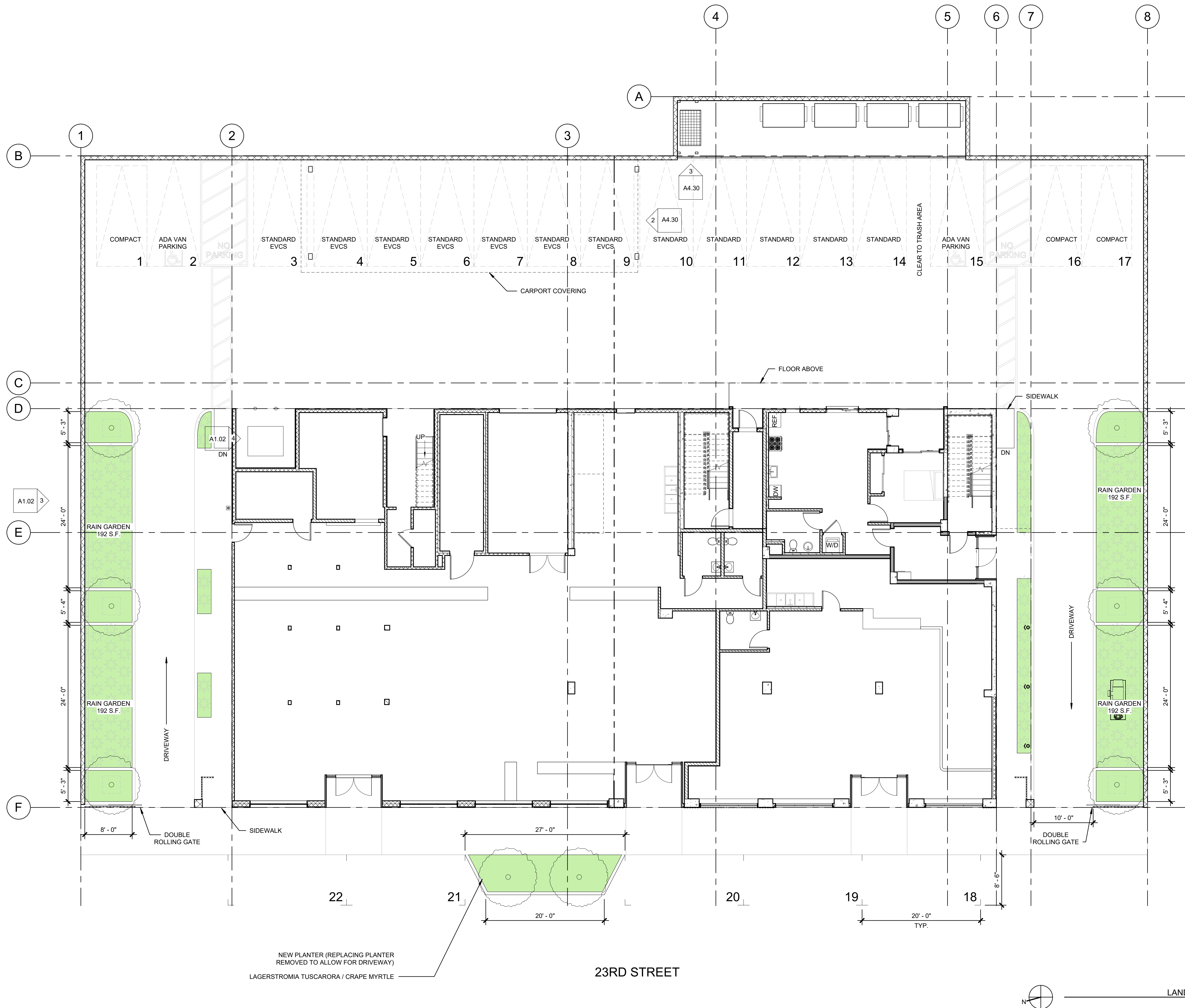
IRRIGATION NOTES

1. CONTRACTOR IS TO AUGMENT EXISTING IRRIGATION SYSTEM. CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING LANDSCAPE AND IRRIGATION DAMAGED FROM CONSTRUCTION TO AN ACCEPTABLE LANDSCAPE CONDITION WITH A FULLY FUNCTIONAL AND EFFICIENT IRRIGATION SYSTEM PER THE CONTAINED CONDITIONS.
2. ALL NEW TREES REQUIRE INDIVIDUAL POP-UP STREAM BUBBLERS, MIN. 2 PER TREE, WITHIN 4' OF TREE. TREE IRRIGATION SHALL BE ON A SEPARATE VALVE.

3. SPRAY OR ROTARY HEADS SHALL BE ON POP-UPS, 6" FOR LAWN, LOW GROUNDCOVER OR PARKED CAR OVERHANG AREAS, 12" FOR SHRUB AREAS. HEADS ON RISERS ARE ONLY ALLOWED ADJACENT TO WALLS WITH LIMITED SPACE FOR POP-UPS.
4. LOCATE SPRAY HEADS 24" FROM NON-PERVIOUS PAVING TO PREVENT OVERSPRAY. EXCEPTION ALLOWED IF ADJACENT SURFACE IS PERMEABLE OR IF USING ALTERNATIVE TECHNOLOGY IRRIGATION. ROTATOR OR ROTARY HEADS MAYBE LOCATED 12" FROM DRIVEWAYS.
5. CONTRACTOR SHALL REPLACE ANY EXISTING IRRIGATION CONTROLLER WITH A MODULE AND SENSOR TO PROVIDE WEATHER-BASED INFORMATION THAT WILL AUTOMATE THE IRRIGATION RUNTIMES BASED ON WEATHER. SEE HUNTER SOLAR SYNC, RAINDRO ET MANAGER OR EQUIVALENT.
6. THE PLANTING AND IRRIGATION SYSTEM SHALL BE COMPLETED BY THE DEVELOPER/BUILDER PRIOR TO THE CLOSE OF ESCROW OF 50 PERCENT OF THE UNITS OF THE PROJECT OR PHASE.
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10. CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR

STATEMENTS AND CERTIFICATION

1. I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.
2. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
3. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE SIGNER OF THE LANDSCAPE PLANS, THE SIGNER OF THE IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
4. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.



1982 - 1988 23RD ST
SAN PABLO, CA 94806

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LANDSCAPE PLAN

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