1982-88 23



CODE
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2022 CA GREEN
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2022 CA MECHAN BASED ON THE 2
2022 CA PLUMBI BASED ON THE 2
2022 CA ELECTR BASED ON THE 2
2022 CA ENERGY

<u>OWNER</u>

NAME:

SAMUEL & CESAR MARTINEZ ADDRESS: 1992 23RD ST SAN PABLO, CA 94806 PHONE #: 510-909-8742 EMAIL: cesarmtz_88@hotmail.com

ARCHITECT

NAME: EMAIL:

BREAKFORM DESIGN ADDRESS: 127 ARENA STREET EL SEGUNDO, CA 90245 PHONE #: 310-322-3700 info@breakformdesign.com

STRUCTURAL ENGINEER

NAME:

NAME:

PHONE#:

EMAIL:

ANDY ALEXANDER & ASSOCIATES ADDRESS: 1615 GRAMERCY AVE TORRANCE, CA 90501 PHONE #: 424-358-1085

EMAIL: andy@aaastructural.com

LAND SURVEYOR

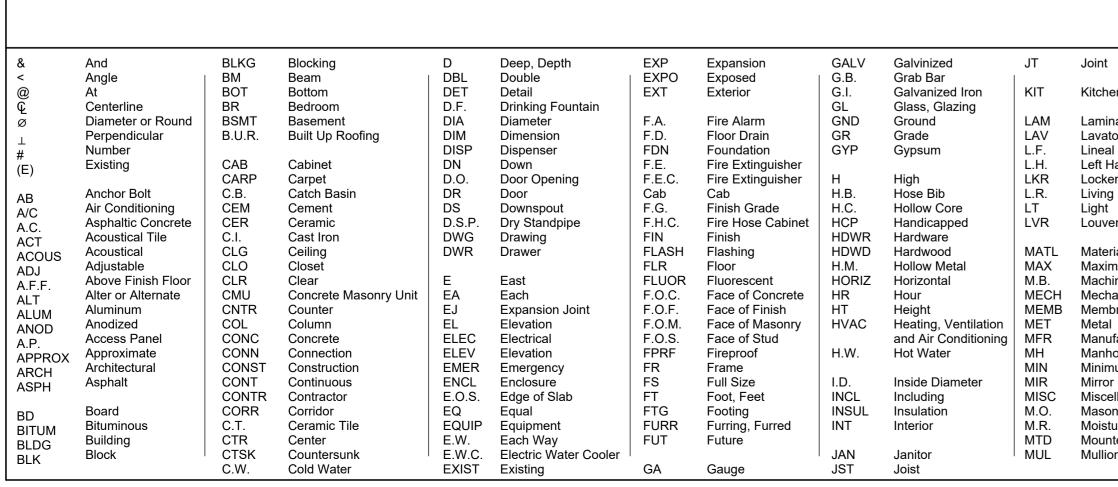
BAY AREA LAND SURVEYING INC. ADDRESS: 30605 RICHMOND PARKWAY SUITE 101 RICHMOND, CA 94806 510-223-5167 info@balsinc.net

OBANDO 8 NAME: ADDRESS: 3101 OCEA SANTA MO PHONE #: 310-821-75 EMAIL: gaspar@ob <u>MEP ENGINEER</u>

CIVIL ENGINEER

NAME: ADDRESS: 910 EAST F PHONE #: 626-541-062 EMAIL:

FLORES EN COVINA, C steven@flor



ROJECT SUMMARY:	EXPANSION OF EXISTING STO 7-UNIT APARTMENT BUILDING COMMERCIAL & PARKING. PERMIT FOR THE "SHELL" POF BUILDING WITHOUT CLEARANG COSTA HEALTH.
ROJECT ADDRESS:	1982 - 1988 23RD ST SAN PABLO, CA 94806
DT AREA:	20,300 SF
SSESSOR'S PARCEL #:	411-190-024, 025, & 047
RACT:	RICHMOND PULLMAN PUEBLO
LOCK:	BLOCK 10
DT:	30, 31, 32, 33, 34, 35 PORTIONS OF 17 & 18
RB #:	NONE
ONING:	C-1
JILDING SQUARE FOOTAGE:	
EXISTING:	3,377 SF
NEW:	10,451 SF
TOTAL:	13,828 SF *SEE PAGE A0.30
OF STORIES:	2 STORIES + ROOF DECK
EIGHT LIMIT: EIGHT PROPOSED:	50'-0" 35'-6"
ARKING REQ.: ARKING PROVIDED:	24 24
CCUPANCY GROUP:	M (GROCERY STORE) B (ICE CREAM SHOP, <50 OCC R-2 (RESIDENTIAL UNITS)
ONSTRUCTION TYPE:	I-B : (N) 1ST FLOOR : V-A : (N&E) 1ST & (E) 2ND FLOO
	*SEE 8/A0.20

								Sheet Number	SHEET INDEX Sheet Name
								ARCHITECTUR	AL
						-		A0.00 A0.01	COVER GENERAL NOTES
				Λ				A0.02	APPROVAL LETTERS
					K			A0.03.1 A0.03.2	GREEN FORMS GREEN FORMS
				A				A0.03.3 A0.03.4	GREEN FORMS GREEN FORMS
								A0.03.5	GREEN FORMS
								A0.03.6 A0.04	GREEN FORMS SPECS / RESEARCH REPORTS
								A0.05	SPECS / RESEARCH REPORTS
								A0.06 A0.07	SPECS / RESEARCH REPORTS SPECS / RESEARCH REPORTS
	PRO	JECT INFORMATION	F.	.A.R. PROVIDE	D VS. ALLOWE	D		A0.08 A0.09	DOOR SCHEDULE DOOR SCHEDULE
			PROVIDED			ALLOWED		A0.10	WINDOW SCHEDULE
			TOTAL FLOOR AREA:	14,281 SF	TOTAL LOT ARE	۹:	20,300 SF	A0.11 A0.12	DOOR DETAILS WINDOW DETAILS
	PROJECT SUMMARY:	EXPANSION OF EXISTING STORE; NEW 2-STORY, 7-UNIT APARTMENT BUILDING, GROUND FLOOR	(BUILDABLE LOT AREA = 20,300 SF)	-)	BUILDABLE ARE		20,300 SF	A0.13	WALL & FLOOR TYPES
		COMMERCIAL & PARKING. PERMIT FOR THE "SHELL" PORTION OF THE	(F.A.R.) x 20,300 SF = 14,351 SF	-	F.A.R. ALLOWED	:	2.5:1	A0.13.1 A0.14	WALL & FLOOR TYPES GENERAL DETAILS
		BUILDING WITHOUT CLEARANCE FROM CONTRA COSTA HEALTH.	F.A.R. PROVIDED:	0.70:1	(2.5) x 20,300 SF			A0.15 A0.16	GENERAL DETAILS GENERAL DETAILS
		COOTATIEAETTI.						A0.17	ACCESSIBILITY NOTES & DETAI
	PROJECT ADDRESS:	1982 - 1988 23RD ST SAN PABLO, CA 94806	TOTAL PROVIDED:	14.351 SF	TOTAL ALLOWE	D:	50,750 SF	A0.18 A0.19	ACCESSIBILITY NOTES & DETAI ACCESSIBILITY NOTES & DETAI
	LOT AREA:	20,300 SF		IAL DENSITY F				A0.20	FIRE LIFE SAFETY
	ASSESSOR'S PARCEL #:	411-190-024, 025, & 047						A0.21 A0.23	OCCUPANCY AREA ANALYSIS EXISTING SITE SURVEY
	TRACT:	RICHMOND PULLMAN PUEBLO		7 1 10 11 70			<u>``</u>	A0.26 A0.27	ZONING CODE AREA CALCULAT BUILDING CODE AREA CALCULA
and the second sec	BLOCK:	BLOCK 10				CRE (23RD ST SP 6.3.1A)	A0.28	SCHOOL FEE AREA CALCULATI
	LOT:		VERY LOW INCOME:		20,300 / 43,560 S			A0.29 A0.30	OPEN SPACE AREA CALCULATI EXISTING & PROPOSED AREAS
	LOT.	30, 31, 32, 33, 34, 35 PORTIONS OF 17 & 18	EXISTING:	2 UNITS	(30 UNITS/ACRE	X 0.46) →	14 UNITS	A0.31	F.A.R. CALCULATIONS
	ARB #:	NONE	TOTAL PROVIDED:	9 UNITS	TOTAL REQUIRE		14 UNITS	A0.32 A0.33	FIRE ACCESS 3D VIEWS
	ZONING:	C-1		19 DU/ACRE		30	0 DU/ACRE	A0.34 A1.00	EXISTING / DEMO SITE PLAN
	BUILDING SQUARE FOOTAGE:		PAR	RKING PROVID	ED VS. REQUI	RED		A1.00 A1.01	SITE MAP
	EXISTING:	3,377 SF	PROVIDED			REQUIRED		A1.02 A2.00	SITE MAP - PG&E UTILITIES EXISTING & DEMO PLANS
Manage Barang Barang Manage Barang Barang Katang Barang Barang Barang Barang Barang Barang Barang Barang Barang Barang Barang Barang Barang	NEW:	10,451 SF			1 SPACE PER 1B	R UNIT (5 UNITS)	5 SPACES	A2.10	PROPOSED PLANS
	TOTAL:	13,828 SF *SEE PAGE A0.30	STANDARD:	14 SPACES	1.5 SPACE PER 2		0.004.000	A2.11 A2.20	PROPOSED PLANS - ICE CREAN PROPOSED PLANS
			COMPACT (MAX. 20% TOTAL):	3 SPACES		,	6 SPACES	A2.21	SECOND FLOOR DRAIN PLAN
	# OF STORIES:	2 STORIES + ROOF DECK	STREET:	5 SPACES		0 SF COMMERCIAL	11 SPACES	A2.30 A2.31	PROPOSED PLANS ROOF DECK DRAIN PLAN
breakform design	HEIGHT LIMIT: HEIGHT PROPOSED:	50'-0" 35'-6"	TOTAL PROVIDED:	22 SPACES	TOTAL REQUIRE	D:	22 SPACES	A2.40	PROPOSED PLANS ROOF DRAIN PLAN
5	PARKING REQ.:	24	BICYCLE	E PARKING PR				A3.00	EXISTING ELEVATIONS
ODE	PARKING PROVIDED:	24	PROVIDED			REQUIRED		A3.10 A3.20	ELEVATIONS ELEVATIONS
	OCCUPANCY GROUP:	M (GROCERY STORE) B (ICE CREAM SHOP, <50 OCCUPANTS)	PROJECT GROSS SQUARE FOOTAG	GE: 13,804 SF	PER SAN PABLO	MUNICIPAL CODE APPI	ENDIX B:	A3.30	ELEVATIONS
THE 2021 IBC (INCLUDES ACCESSIBILITY)		R-2 (RESIDENTIAL UNITS)			ONE (1) CLASS A	BICYCLE SPACE FOR E	EACH 8,000	A3.40 A3.50	ELEVATIONS ELEVATIONS COLOR
REEN BUILDING CODE	CONSTRUCTION TYPE:	I-B : (N) 1ST FLOOR : 4,742 SF* V-A : (N&E) 1ST & (E) 2ND FLOORS: 4,512 SF*			SF GRÓSS FLOC	R AREA		A3.60 A3.70	ELEVATIONS COLOR ELEVATIONS COLOR
VOL 2 (TITLE 24, PART 2, VOL 2)		*SEE 8/A0.20				CLASS B BICYCLE SPACE ENT CONTAINING A MIN		A3.80	ELEVATIONS COLOR
THE 2021 IBC WITH ASCE 7-16					10,000 SF GROS	S FLOOR AREA		A4.10 A4.20	PROPOSED SECTIONS PROPOSED SECTIONS
CHANICAL CODE, (TITLE 24, PART 4) THE 2021 UNIFORM MECHANICAL CODE	FIRE SPRINKLER:	NFPA-13						A4.30	WALL SECTIONS & DETAILS
UMBING CODE (TITLE 24, PART 5)	WATER METER:	(E) _" WATER METER SHALL REMAIN FOR THE EXISTING BUILDING / RESIDENTIAL UNITS.	TOTAL CLASS A PROVIDED: TOTAL CLASS B PROVIDED:	2 SPACES 6 SPACES	TOTAL CLASS A	REQUIRED: REQUIRED:	2 SPACES 6 SPACES	A4.40 A5.00	WALL SECTIONS & DETAILS ENLARGED PLANS
THE 2021 UNIFORM PLUMBING CODE		(NEW) 2" WATER METER WILL BE USED FOR	OPEN	I SPACE PROV	IDED VS. REQU	JIRED		A5.10 A5.20	ENLARGED PLANS ENLARGED PLANS
ECTRICAL CODE (TITLE 24, PART 3) THE 2020 NATIONAL ELECTRIC CODE		ADDITION TO THE MARKET BUILDING AND NEW RESIDENTIAL UNITS.	PROVIDED			REQUIRED		A6.01	KITCHEN SPECS
IERGY CODE (TITLE 24, PART 6)		RESIDENTIAL UNITS.	COMMON OPEN SPACE:	3,943 SF	7 UNITS (150 SF)		1,050 SF	A6.02 A6.03	KITCHEN SPECS KITCHEN SPECS
			PRIVATE OPEN SPACE		7 UNITS (60 SF)		420 SF	A6.04	KITCHEN SPECS
	DEFE	RRED SUBMITTALS	TOWARDS CALCULATION BASED ON 23RD SPECIFIC PLAN:	420 SF				A6.05 A7.10	KITCHEN SPECS REFLECTED CEILING PLAN
								A7.11	LIGHTING SCHEDULE - FIRST FI REFLECTED CEILING PLAN
	SOLAR PV SYSTEM FOR THE PRO	DJECT IS A DEFERRED SUBMITTAL ON A SEPARATE	TOTAL PROVIDED OPEN SPACE:	4,363 SF			1,470 SF	-A7.21	LIGHTING SCHEDULE - SECONE
OO & ASSOCIATES CEAN PARK BLVD STE 100 PMB 122	PLAN CHECK AND PERMIT.		YARD S	ETBACKS PRO	OVIDED VS. RE	QUIRED		A7.30 A7.31	REFLECTED CEILING PLAN LIGHTING SCHEDULE - ROOF D
MONICA, CA 90405 1-7555			YARD		/IDED	REQUIRED)	A7.50	LIGHTING SPECS
@obandoandassociates.com				0' - 0" @ ALL LE\	/ELS	0' - 0" @ ALL LEVELS		A7.60 A8.10	LIGHTING SPECS VERTICAL CIRCULATION
				N/A		0' - 0" @ ALL LEVELS		A8.20 A8.40	VERTICAL CIRCULATION STAIR DETAILS
SENGINEERING			SOUTH ALLEY	N/A		0' - 0" @ ALL LEVELS		L1.10	LANDSCAPE PLAN
ST PUENTE ST. A, CA 91724			BACK ALLEY	N/A		0' - 0" @ ALL LEVELS		CIVIL C-1	TITLE / NOTES SHEET
1-0622 Difloresengr.com								C-1.1	NOTES SHEET CONT'D
				RESIDEN	TIAL UNITS			C-1.2 C-2	PROJECT SURVEY GRADING AND DRAINAGE PLAN
			UNIT # OC		<u>SF</u>	TYPE		C-3 C-4	CROSS SECTIONS SHEET EROSION CONTROL PLAN
				3D / 1 BTH	600 SF	MARKET RATE		STRUCTURAL	
			2A 2B	3D / 2 BTH 3D / 1 BTH	845 SF 511 SF	MARKET RATE MARKET RATE		S1.00 S1.01	GENERAL NOTES GENERAL NOTES
			2C 1 B	3D / 1 BTH 3D / 2 BTH	595 SF 802 SF	MARKET RATE MARKET RATE		S1.10 - S1.62	TYPICAL DETAILS
			2E 1 B	3D / 1 BTH 3D / 1 BTH	578 SF 491 SF	MARKET RATE MARKET RATE		S2.00 S2.10	FOUNDATION PLAN SECOND FLOOR FRAMING PLAI
					491 01			S2.20 S2.30	THIRD FLOOR FRAMING PLAN ROOF FRAMING PLAN
								S2.40	HIGH ROOF FRAMING PLAN
								S3.00 S3.01	CONCRETE SLAB DETAILS CONCRETE BEAM
Joint N North P.T.D. Paper N.I.C. Not in Contract PTN Partition	on SLDG Siding	T.P.D. Toilet Paper Dispenser T.S. Top of Steel						S3.02	CONCRETE COLUMN & WALL D
Kitchen NO Number NOM Nominal Q.T. Quarry Laminate N.S. No Scale No	SPEC Specification	TV Television T.O.W. Top of Wall TYP Typical	DETAIL REFERENCE					S4.00	SPECIAL DETAILS
LavatoryN.T.S.Not to ScaleRRiserLineal FootRADRadius	s SSK Service Sink STD Standard	UNF Unfinished INDICATES A JOG	$\begin{pmatrix} X \\ 0,0 \end{pmatrix}$ $\begin{pmatrix} X \\ 30 \end{pmatrix}$						
Left HandO/OverR.D.Roof ELockerOAOverallREFRefereLiving RoomOBSCObscureREFRRefrige	Drain STL Steel ence STOR Storage	U.O.N. Unless Otherwise Noted UR Urinal							
LightO.C.On CenterREINFReinfoLouverO.D.Outside DiameterREQRequire	red or Reinforcing SUSP Suspended SW Switch	VERT Vertical VEST Vestibule	(0,0,0) (0,						
O.F.D.Overflow DrainRESILResilieMaterialOFFOfficeREVReviseMaximumO.H.OverhangRFGRoofin	ed SYS System	V.I.F. Verifiy in Field VOL Volume	MATCHLINE MATCH LINE						
Machine BallOVHDOverheadR.H.Right IMechanicalOPNGOpeningRMRoom	Hand T Tread T.B. Towel Bar	W West W/ With W/H Water Heater	A6-1.3 — MATCH LINE						
Metal RWD Redwo Manufacture PC Piece	T.O.D. Top of Drain	W/O Without W.C. Water Closet WINDOW SYMBOL	GRIDLINE PROJECTION ABOVE/BELOW						
ManholeP.D.Planter DrainSSouthMinimumPLPlateS.C.Solid CMirrorP.L.Property LineSCHEDSched	TEL Telephone Core TEMP Tempered, Temper	WD Wood							
Miscellaneous PLMG Plumbing SECT Sectio Masonry Opening PLAM Plastic Laminate SEP Separation	n THK Thick, Thickness ation, Separate THR Threshold	WSCT Wainscot W.S.P. Wet Standpipe							
Moisture ResistantPLASPlasterSHShelfMountedPLYWDPlywoodSHRShoweMullionPRPairSHTSheet		WT Weight	2 1 A INTERIOR ELEVATION A3-12 4 ELEVATION SYMBOLS REVISION SYMBOL (NUMBER						
PT Paint	T.P.D. Toilet Paper Disper		3 (NUMBER INDICATES ISSUE)					<u> </u>	

ne	reakformdesion	127 arena street, el segundo, ca 90245 [o] 310.322.3700	
EAM	CENSED RAMSEN No. C-3 10/3 RENEWA 10/3 RENEWA	ARCHITEC Y DAHAM 14257 1/25	
T FLOOR	1982 - 1988 23RD ST SAN PABLO, CA 94806		
FDECK	Revision	Schedule	
	Revision Number 1	Revision Date 3/21/2024	
LAN			
PLAN AN	CO	/ER	
	DRAWN	JS	
L DETAILS	CHECKED DATE	PNK 2025 12:24:26 PM 21-A016	
	A0	.00	

DEMOLITION NOTES

OWNER.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED.

OF SAME IN CONTRACT PRICE. 3. FURNISH ALL LABOR AND MATERIALS/EQUIPMENT TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED. GC TO ESTABLISH PROCEDURES W/ BLDG.

2. OBTAIN DEMOLITION PERMITS AND INCLUDE ALL COSTS

4. CONTRACTOR SHALL KEEP CONSTRUCTION AREA FREE OF DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION.

5. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.

6. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.

FREIGHT ELEVATOR WHEN APPLICABLE. CONTACT THE BUILDING MGMT. OFFICE TO OBTAIN SCHEDULE FOR THE USE OF THE FREIGHT ELEVATOR(S) PRIOR TO SUBMITTING BID. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE. WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.

7. DEBRIS REMOVAL MUST BE PERFORMED USING THE

8. IF DIRECTED BY BUILDING MANAGEMENT, ALL DOORS FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES, (INCLUDING DOWNLIGHTS & FLUORESCENTS), & SPECIAL EQUIPMENT SHOWN TO BE REMOVED, SHALL BE CLEAN AND FREE OF DEFECTS, PROTECTED, SAVED AND REUSED AS DIRECTED HEREIN, RETURNED TO BUILDING STOCK OR DISPOSED OF.

9. IN PARTITIONS TO BE REMOVED. REMOVE AND CAP ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC. TO THEIR SOURCE.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION IN ELEVATOR LOBBY, PUBLIC CORRIDORS, RESTROOMS OR TENANT SPACES. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.

11. NO EXISTING SMOKE DETECTOR, PUBLIC ADDRESS SPEAKER, FIRE ALARM BOX OR SIMILAR DEVICE, INCLUDING THE ASSOCIATED WIRING SHALL BE DAMAGED DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION. RELOCATION OF SMOKE DETECTORS, PUBLIC ADDRESS SPEAKERS AND FIRE ALARM EQUIPMENT, NECESSITATED BY NEW CONSTRUCTION, SHALL BE ACCOMPLISHED AS A FIRST PRIORITY, AND PER THE PLANS. NO ACTIVE SMOKE

OR USED FOR OTHER THAN IT'S INTENDED PURPOSE. 12. ALL EXISTING FLOOR MOUNTED OUTLETS, WHERE NOTED TO BE REMOVED OR RELOCATED, SHALL BE CAPPED OFF TO THE NEAREST JUNCTION BOX. FILL AND LEVEL FLOOR TO ACCEPT NEW FLOOR COVERING.

DETECTOR SHALL BE COVERED OR OTHERWISE REMOVED

13. ALL EXISTING CEILING TILES TO REMAIN U.O.N. ALL BROKEN, PARTIAL, STAINED, OR DAMAGED TILES SHALL BE REPLACED.

14. ALL EXISTING LIGHT FIXTURES SHALL BE CLEANED OF DUST, WRAPPED FOR PROTECTION & STORED FOR RE-USE.

RE-USE OR RELOCATE ALL ABOVE CEILING DUCTWORK DIFFUSERS, GRILLES, SPRINKLER PIPES OR OTHER EQUIPMENT, AS REQUIRED FOR PROPER DISTRIBUTION WITH NEW LAYOUT.

DRAINS NOT BEING RE-USED.

17. REMOVAL OF ANY EQUIPMENT, CABLING SWITCHES, AND CONDUIT PERTAINING TO DATA/ COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES. SERVICE OWNER OR TENANT DATA/COMMUNICATIONS REPRESENTATIVE AS REQUIRED

18. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISES OR DEPRESSIONS IN FLOORING SURFACE. SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, RESILIENT FLOOR COVERINGS, CARPET, CARPET PAD, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.

TO PREVENT NEW CONSTRUCTION DELAYS.

19. CAREFULLY REMOVE ALL EXISTING WALL COVERING AT EXISTING PARTITIONS AND/OR COLUMNS, AS NOTED. **20.** DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS

SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS. **21.** STAIRWAYS MUST REMAIN ACCESSIBLE AT ALL TIMES

DURING DEMOLITION. RATING IS MAINTAINED

SAFETY NOTES:

1. THE CONTRACTOR SHALL SAFEGUARD THE OWNER'S PROPERTYDURING CONSTRUCTION AND SHALL REPLACE ANY DAMAGED PROPERTY OF THE OWNER TO ORIGINAL CONDITION OR BETTER.

2. THE CONTRACTOR SHALL PROVIDE GUEST PROTECTION FROM ALL AREAS OF WORK. 3. THE CONTRACTOR SHALL PROTECT ADJOINING AREAS FROM NOISE, DUST, DIRT FIRE HAZARDS, ETC.

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF MATCHING BUILDING LINES AND LEVELS BETWEEN NEW AND EXISTING CONSTRUCTION. THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR THE LOCATION AND CONSTRUCTION OF THE WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.

2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.

3. CONTRACTOR SHALL RELOCATE OR CAP OFF EXISTING UTILITY LINES AS REQUIRED. COORDINATE WTH ELECTRICAL AND PLUMBING DRAWINGS FOR FURTHER INFORMATION.

4. EXISTING CONSTRUCTION WHICH IS TO REMAIN BUT IS DAMAGED DURING, CONSTRUCTION SHALL BE REPLACED OR REPAIRED TO ORIGINAL CONDITION OR BETTER.

5. MATERIALS USED FOR NEW CONSTRUCTION, UNLESS SPECIFIED OR INDICATED OTHERWISE, SHALL MATCH EXISTING ADJACENT MATERIALS, CONSTRUCTION AND FINISHES.

6. NO MATERIALS SHALL BE STORED ON PUBLIC PROPERTY UNLESS ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE CITY .

THE GENERAL CONTRACTOR SHALL PROVIDE A DUMPSTER IN AN AREA DESIGNATED BY THE OWNER FOR THE PURPOSE OF COLLECTING TRASH AND SHALL PROVIDE FOR ITS REMOVAL FROM THE SITE TO A LEGAL DISPOSAL

8. ALL HOLES IN CONCRETE SLABS LEFT AFTER REMOVAL OF PIPES, CONDUITS, ETC., ARE TO BE FILLED WITH POR-ROCK OR SOLID CONCRETE. REFER TO ANY DETAILS WITHIN DRAWING SET FOR FURTHER INFORMATION.

9. THE GENERAL CONTRACTOR SHALL VERIFY SALVAGE REQUIREMENTS OF ALL FURNITURE, FIXTURES AND EQUIPMENT WITH THE OWNER TO DEMOLITION.

10. SURFACE CRACKS AND VOIDS SHALL BE TUCK POINTED OR PATCHED.

11. ALL SURFACES TO BE FINISHED SHALL BE PREPARED IN ACCORDANCE WITH FINISH MANUFACTURERS RECOMMENDATIONS.

12. PROVIDE ALL NECESSARY BLOCKING, BACKING, SLEEVES, AND FRAMES FOR LIGHT FIXTURES, ELECTRICAL UNITS, A/C EQUIPMENT AND OTHER ITEMS REQUIRING SAME. **13.** PLEASE RECYCLE DEMOLITION & CONSTRUCTION WASTE. ASK ABOUT POSSIBLE DUMP SITES. 14. THE CONTRACTOR SHALL COMPLY W/ ALL 0.S.H.A.

REQUIREMENTS.

15. TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED **2.** AN APPROVED CARBON MONOXIDE ALARM SHALL BE & VISIBLE WHEN THE UNIT IS GLAZED.

16. PENETRATIONS OF FIRE-RATED FLOORS OR FLOOR-CEILING ASSEMBLIES SHALL BE PROTECTED BY THROUGH-PENETRATION FIRE STOPS HAVING AN "F" OR "T" RATING. A "T" RATING IS REQUIRED WHERE PENETRATIONS ARE NOT CONTAINED IN THE WALL AT THE POINT THEY PENETRATE THE FLOOR OR WHERE THEY ARE LARGER THAN A 4" (IOOmm) PIPE OR 16 SQ IN (IO320mm SQ) IN AREA. UBC SEC 710.3 EX 5

1. ALL WORK AND MATERIALS SHALL COMPLY TO THE CURRENT ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, NATIONAL ELECTRIC CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA FIRE CODE AND ALL LOCAL CODES, REGULATIONS, LAWS & ORDINANCES GOVERNING CONSTRUCTION . SECURITY IN THIS JURISDICTION.

CODE NOTES:

2. METAL FABRICATION SHALL CONFORM TO C.B.C. AND STANDARDS OF A.S.T.M., A.I.S.C., A.W.S. AND S.S.P.C. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE CODE REGULATIONS.

3. DEPARTMENT OF INDUSTRIAL RELATIONS DIVISION OF INDUSTRIAL SAFETY (O.S.H.A.) REQUIREMENTS. CONTRACTOR SHALL PROVIDE OCCUPANCY SIGNAGE PER LOCAL BUILDING REQUIREMENTS AND/OR FIRE DEPARTMENT REQUIREMENTS.

4. OCCUPANCY SIGNAGE SHALL BE PLACED PER LOCAL CODE & FIRE DEPARTMENT REQUIREMENTS AS APPLICABLE **5.** ALL REQUIRED PERMITS MUST BE OBTAINED AND KEPT

ON THE PREMISES AT ALL TIMES IN A LOCATION SPECIFIED BY THE CITY GENERAL NOTES

1. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ANY INCONSISTENCY, ERROR OR OMISSION HE MAY DISCOVER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERROR AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE MEANS OF CORRECTING ANY ERROR, BEFORE OR AFTER THE START OF CONSTRUCTION, SHALL FIRST BE APPROVED BY THE ARCHITECT

2. STAMPED SETS OF APPROVED PLANS SHALL BE PROVIDED FOR ALL WORK. THE CONTRACTOR SHAL MAINTAIN IN, GOOD CONDITION, COMPLETE SETS OF

STAMPED AND APPROVED PLANS WITH ALL REVISIONS ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THEY ARE TO BE UNDER THE CARE OF THE GENERAL CONTRACTOR OR HIS SUPERINTENDENT IN A LOCATION

SPECIFIED BY THE CITY.

3. THE ARCHITECT WILL REVIEW ALL SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.

4. THE ARCHITECT MAKES NO GUARANTEE FOR PRODUCTS NAMED BY TRADE NAME OR MANUFACTURER.

5. REFERENCES OF DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT APPLICATION OF ANY DRAWIING OR

6. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MINOR **15.** REMOVE TO SOURCE ALL PIPES, VENTS, APPLIANCES OR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.

> 7. THE CONTRACTOR SHALL NOT BREAK SETS FOR TRADE BIDDING, ERRORS IN BIDDING AS A RESULT OF THIS PRACTICE ARE NOT THE RESPONSIBILITY OF THE OWNER OR THE ARCHITECT

> 8. THE CONTRACTOR SHALL REFER TO AND CROSS-CHECK DETAILS, DIMENSIONS, NOTES, AND ALL REQUIREMENTS SHOWN ON THE ARCHITECTURAL DRAWINGS WITH THE EXISTING SITE CONDITIONS AND SPECIFICATIONS.

> PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE FOLLOWING IS REQUIRED FROM THE AGENT OF THE OWNER, a) AN AUTHORIZATION LETTER FROM THE OWNER TO PULL PERMITS. THE FOLLOWING IS REQUIRED FROM THE CONTRACTOR AGENT:- b) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND FOLLOWING LANDLORD'S RULES AND REGULATIONS, INCLUDING BUT

NOT LIMITED TO PROVIDING INSURANCE CERTIFICATES PER LANDLORD'S CRITERIA. c) CERTIFICATE OF WORKERS COMPENSATION INSURANCE MADE OUT TO THE CONTRACTORS STATE LICENSE BOARD. d) COPY OF THE CITY BUSINESS TAX REGISTRATION CERTIFICATE OR NEWLY (R303.1) PAID RECEIPT FOR ONE. e) NOTARIZED LETTER OF

AUTHORIZATION FOR AGENTS OF CONTRACTOR 10. THE CONTRACTOR SHALL PROVIDE A LIST OF SUBCONTRACTORS TO THE OWNER FOR REVIEW PRIOR TO

SIGNING THE OWNER / CONTRACTOR AGREEMENT. 22. RATED WALLS SHALL NOT BE PENETRATED UNLESS THE 11. ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC., TO MAKE THE SEVERAL PIECES COME TOGETHER PROPERLY AND FIT OR BE RECEIVED BY WORK

PORTION THEREOF DURING CONSTRUCTION.

OF OTHER TRADES. **12.** THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY BRACING OR SHORING AS REQUIRED OR

13. THE CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER, AND TOILET FACILITIES AS REQUIRED AND SHALL INSTALL THEM IN ACCORDANCE TO LOCAL CODES. CONTRACTOR MAY USE OWNERS FACILITIES UPON WRITTEN AUTHORIZATION FROM OWNER'S REPRESENTATIVE

14. THE GENERAL CONTRACTOR AND HIS ASSOCIATES, SUBCONTRACTORS, ETC., MUST MAINTAIN THE SPACE, ACCESS AREAS, ETC., CLEAN AT ALL TIMES AND SWEEP, DUST, CLEAN, ETC., EVERY DAY AT THE END OF WORKING

15. IT S THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DELIVER THE JOB COMPLETELY CLEAN.

16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR, ND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE (1) YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.

FIRE SAFETY NOTES:

1. THE GENERAL CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A WITHIN A 75-FOOT TRAVEL DISTANCE.

2. THE GENERAL CONTRACTOR SHALL PROVIDE ANY ADDITIONAL FIRE EXTINGUISHERS AS REQUIRED BY THE LOCAL FIRE DEPARTMENT FIELD INSPECTOR.

3. THE GENERAL CONTRACTOR SHALL PROVIDE PLANS FOR REVISION OF THE FIXED FIRE PROTECTION EQUIPMENT AND SHALL SUBMIT THEM TO THE LOCAL JURISDICTION AS REQUIRED AND TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

4. THE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAWNGS AND SPECIFICATIONS FOR REVISION TO FIXED FIRE PROTECTION EQUIPMENT AND SUBMITTAL OF PLANS TO THE FIRE MARSHALL AS REQUIRED FOR APPROVAL PRIOR TO INSTALLATION.

FIRE-RESISTANCE RATED CONSTRUCTION:

1. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND SIGNS SHALL BELISTED AND LABELED IN ACCORDANCE BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)

2. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)

FIRE PROTECTION

1. AND APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM. AND ON EACH STOREY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STOREY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)

INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

3. THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72.

LADBS GENERAL REQUIREMENTS:

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING." (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).

4. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND

5. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH. NONABSORBENT SURFACE TO HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET (SECTION 1210.2.3). USE OF WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE AS STATED IN SECTION 2509.3

6. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

7. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NOT REQUIRED). (R308.6.9)

8. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, LAPC)

9. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

10. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.

11. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL WELLING UNITS INTENDED FOR HUMAN OCCUPANCY UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)

WHERE A PERMIT IS REQUIRED FOR ALTERATIONS REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)

13. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL

14. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

15. FOR EXISTING POOL ON SITE, PROVIDE ANTIENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL. 9AB0 NO. 2977. (3162B)

LADBS ADDITIONAL NOTES: **GARAGE/CARPORTS**

1. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1)

DUCT PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENING INTO THE GARAGE (R302.5.2)

3. OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALL SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.5.3)

4. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARKVEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R201)

MEANS OF EGRESS

AND CHAPTER 27.

ILLUMINATED.

CANDLES (54 IUX).

1013.5-1013.6.3

WITH SECTIONS 1013.6.1 - 1013.6.3.

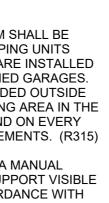
1. THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE EXTERIOR OF THE DWELLING AT THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. (R311.1)

2. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. (R302.7)

3. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7)

4. PROVIDE 42" HIGH GUARDS WITH MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS. (R312)

THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4 INCH. (2407)



CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

5. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND

6. INTERNALLY ILLUMINATED EXIT SIGNS. ELECTRICALLY POWERED, SELF-LUMINOUS AND PHOTOLUMINESCENT EXIT WITH UL 924 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS

7. EXTERNALLY ILLUMINATED EXIT SIGNS SHALL COMPLY 8. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY

9. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT

10. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702.

11. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. 12. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90MIN. IN CASE OF PRIMARY POWER LOSS.

13. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. 1010.1.9

14. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR. 1010.1.9.2 15. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY

WITH SECTION 1010.1.9

16. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1FOOT-CANDLE AT THE WALKING SURFACE. 1008.1

17. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS: 1008.3

> I. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS;

II. CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.;

III. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THEIR LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

IV. INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1028.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

V. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1010.1.6, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

18. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES. UNIT EQUIPMENT OR AN ONSITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702. 1008.3

19. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. 1008.3

20. THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES UNIT EQUIPMENT OR AN ON-SITE GENERATOR SET, AND THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE. FOR HIGH RISE BUILDINGS, SEE SECTION 403.

21. EVERY EXIT SIGN AND DIRECTIONAL EXIT SIGN SHALL HAVE PLAINLY LEGIBLE LETTERS NOT LESS THAN 6 INCHES (152 MM) HIGH WITH THE PRINCIPAL STROKES OF THE LETTERS NOT LESS THAN V4 INCH (19.1 MM) WIDE THE WORD "EXIT" SHALL HAVE LETTERS HAVING A WIDTH NOT LESS THAN 2 INCHES (5 1 MM) WIDE, EXCEPT THE LETTER "I AND THE MINIMUM SPACING BETWEEN LETTERS SHALL BE NOT LESS THAN 3/8 INCH (9.5 MM), SIGNS LARGER THAN THE PARTIALLY OPEN POSITION. 6715.1 MINIMUM ESTABLISHED IN THIS SECTION SHALL HAVE LETTER WIDTHS, STROKES AND SPACING IN PROPORTION TO THEIR HEIGHT. THE WORD "EXIT" SHALL BE IN HIGH CONTRAST WITH THE BACKGROUND AND SHALL BE CLEARLY DISCERNIBLE WHEN THE MEANS OF EXIT SIGN ILLUMINATION IS OR IS NOT ENERGIZED. IF A CHEVRON DIRECTIONAL INDICATOR IS PROVIDED AS PART OF THE EXIT SIGN, THE CONSTRUCTION SHALL BE SUCH THAT THE DIRECTION OF THE CHEVRON DIRECTIONAL INDICATOR

NTERIOR ENVIRONMENT

CANNOT BE READILY CHANGED.

1. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68 DEGREE FAHRENHEIT AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)

BUILDING ENVELOPE

1. PROVIDE A CLASS A, B OR C FIRE-RETARDANT ROOF COVERING PER SECTION R902..1

2. GLAZING IN THE FOLLOWING SECTIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

> A. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.

B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.

C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.

2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FI OOR

3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE

4) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING D. GLAZING IN RAILINGS.

E. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALING SURFACE.

F. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AN IN A STRAIGHT LINE, OF THE WATER'S EDGE.

G. GLAZING WHERE THE BOTTOM EXPOSED EDGI OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AN RAMPS.

H. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM

SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6

4. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF LOCATIONS WITH FIELD SURVEY PRIOR TO WALL 6 INCHES WITHIN THE FIRST 10 FEET (R401.3). 5. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS

SPECIFIED PER SECTION R317.1 BY THE USED OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA

6. PROVIDE ANTI GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)

BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR RAOD FRONTING THE PROPERTY. (R319.1)

8. ALL COOL ROOF PRODUCTS SHALL HAVE A CLEARLY VISIBLE PACKAGING LABEL THAT LISTS THE EMITTANCE AND THE INITIAL AND 3-YEAR AGED SOLAR REFLECTANCE. OR A CRRC APPROVED ACCELERATED AGED SOLAR REFLECTANCE TESTED IN ACCORDANCE WITH CRRC-1 140.1, 140.2, 140.3(A)1, 141.0(B)2B, 150.1(C)11, 150.2(B)1H, 150.2(B)2

SECURITY REQUIREMENTS

1. SCREENS, BARRICADES, OR FENCES MADE OF A MATERIAL WHICH WOULD PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF. BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES. (6707)

2. EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB (60 WATT MIN.) AT A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR. (6708)

3. SLIDING GLASS DOORS PANELS SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.1 4. METAL OR WOODEN OVERHEAD OR SLIDING DOORS

SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. (6711)

5. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. (6712)

6. IN GROUP B, F, M, AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5 IN. BUT LESS THAN 48 IN, SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURGLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLES (6714)

7. GLAZED OPENINGS WITHIN 40" OF THE REQUIRED LOCKING DEVICE OF THE DOOR, WHEN THE DOOR IS IN THE CLOSED AND LOCKED POSITION AND WHEN THE DOOR IS OPENABLE FROM THE INSIDE WITHOUT USE OF KEY. SHALL BE FULLY TEMPERED GLASS PER SECTION 2406, OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO SLIDE GLASS DOORS WHICH CONFORM TO THE PROVISIONS OF SECTION 6710 OR TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THER GREATEST DIMENSIONS. (6715.3)

8. LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY.

9. OTHER OPENABLE WINBDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN GROUP B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. (6715.2)

10. SLIDING WINDOWS SHALL BE PROVIDED WITH LOCKING DEVICES, A DEVICE SHALL BE INSTALLED IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR

11. SLIDING GLASS WINDOWS SASH SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.2

12. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRCLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION.

13. ALL OTHER OPENINGSMUST BE PROTECTED BY META BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION.

14. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL. (6706)

15. WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. (6709.1) DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB, OR JOINED BY RABBET TO THE JAMB. (6709.4)

16. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WIT 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. (6709.5, 6709.7)

17. PROVIDE DEAD BOLTS WITH HARDENED INSERTS: DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT A KEY. SPECIAL KNOWLEDGE, OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, M AND S OCCUPANCIES). (6709.2)

STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". (6709.2)

19. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 INCH THICK WITH SHAPED PORTIONS OF THE PANELS NOT LESS THAN 1/4 INCH THICK, AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8 INCHES AND 3 INCHES IN WIDTH. (6709.1 ITEM 2)

20. SLIDING GLASS DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVAL OF THE MOVING PANEL FROM THE TRACK WHILE IN THE CLOSED POSITION. (6710)

GENERAL NOTES: 1. EXHAUST FANS TO HAVE 50 CFM INTERMITTENT OR 35

CAPABLE.

CFM CONTINUOUS. 2. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE

OUTSIDE OF THE BUILDING. 3. NEWLY INSTALLED BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM. MUST BE CONTROLLED BY A

HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. 4. INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS ARE SOIL BASED.

5. ALL BATHROOMS TO HAVE WATER RESISTANT GYP 6. CONTRACTOR TO VERIFY PROPERTY LINE & WALL

PLACEMENT 7. ALL DIMENSIONS TO FRAMING LINE. COORDINATE WITH

WALL TYPES ON A0.12. 8. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT ISTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.

9. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARCHING AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELESELECTRICAL CODE. THE RACEWAYTERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV

10. 1-HR CONSTRUCTION AT UNDERSIDE OF ALL SIDE YARD PROJECTIONS. 11. ALL DOORS 4" FROM WALL U.O.N.

12. 80% OF THE TOAL AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:

PERFORMANCE PRODUCTS DATABASE **B.** PRODUCTS COMPLIANT WITH THE CHPS CRITERIA CERTIFIED UNDER THE GREEGAURD CHILDREN & SCHOOLS PROGRAM **C.** CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM. D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION.

13. THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2004 ANSI/ACCA 29-D-2009 OR ASHRAE HANDBOOKS AND HAVE THE EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 36-S MANUAL S-2004.

14. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LADBC)

15. FOR ONE- AND TWO-FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COMVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL, DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED.

16. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.

17. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'

18. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS. (4.304.4)

19. FOR SITES WITH OVER 500 SQUARE FEET OF ANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHESWASHER. BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAY WATER IRRIGATION SYSTEM. (4.305.1)

20. WATER USED IN THE BUILDING FOR WATER CLOSETS URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE. (4.305.2)

BUILDING ENERGY STANDARD NOTES:

SEWER. (4.305.4)

610.4.1.2 OR 610.4.1.3.

REQUIRED.

GENERAL NOTES

EXECUTIVE DIRECTOR.

WHERE GROUNDWATER IS BEING EXTRACTED AND

A. VOC EMISSION LIMITS DEFINED IN THE CHPS HIGH

DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND CONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE 22. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE

THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION

23. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS

1. COMPLIANCE INFORMATION: THE BUILDER SHALL LEAVE IN THE BUILDING, COPIES OF THE COMPLETED, SIGNED AND SUBMITTED COMPLIANCE DOCUMENTS FOR THE BUILDING OWNER AT OCCUPANCY. FOR LOW-RISE RESIDENTIAL BUILDINGS, SUCH INFORMATION SHALL, AT A MINIMUM NCLUDE COPIES OF ALL CERTIFICATE OF COMPLIANCE CERTIFICATE OF INSTALLATION, AND CERTIFICATE OF VERIFICATION DOCUMENTATION SUBMITTED. 10-103(B)1

2. OPERATING INFORMATION: THE BUILDER SHALL PROVIDE THE BUILDING OWNER AT OCCUPANCY, OPERATING INFORMATION FOR ALL APPLICABLE FEATURES, MATERIALS, COMPONENTS, AND MECHANICAL DEVICES INSTALLED IN HE BUILDING. OPERATING INFORMATION SHALL INCLUDE INSTRUCTIONS ON HOW TO OPERATE THE FEATURES, MATERIALS, COMPONENTS, AND MECHANICAL DEVICES CORRECTLY AND EFFICIENTLY. THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS SET FORTH BY THE

> A. FOR RESIDENTIAL BUILDINGS, SUCH INFORMATION SHALL BECONTAINED IN A FOLDER OR MANUAL WHICH PROVIDES ALL CERTIFICATE OF COMPLIANCE, CERTIFICATE OF INSTALLATION, AND CERTIFICATE OF VERIFICATION DOCUMENTATIONS. THIS OPERATING INFORMATION SHALL BE IN PAPER

OR ELECTRONIC FORMAT. 10-103(B)2 MAINTENANCE INFORMATION: THE BUILDER SHALL PROVIDE TO THE BUILDING OWNER AT OCCUPANCY, MAINTENANCE INFORMATION FOR ALL FEATURES, MATERIALS, COMPONENTS, AND MANUFACTURED DEVICES

THAT REQUIRE ROUTINE MAINTENANCE FOR EFFICIENT OPERATION. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL MAY BE LIMITED TO IDENTIFYING, BY TITLE AND/OR PUBLICATION NUMBER, THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF FEATURE, MATERIAL COMPONENT OR MANUFACTURED DEVICE. 10-103(B)3

4. VENTILATION INFORMATION: THE BUILDER SHALL PROVIDE TO THE BUILDING OWNER AT OCCUPANCY, A DESCRIPTION OF THE QUANTITIES OF OUTDOOR AIR THAT THE /ENTILATION SYSTEM(S) ARE DESIGNED TO PROVIDE TO THE BUILDING'S CONDITIONED SPACE, AND INSTRUCTIONS

5. ALL SYSTEMS, EQUIPMENT, APPLIANCES AND BUILDING COMPONENTS SHALL COMPLY WITH THE APPLICABLE MANUFACTURING, CONSTRUCTION, AND INSTALLATION PROVISIONS OF SECTIONS 110.0 THROUGH 110.11 FOR

FOR PROPER OPERATION AND MAINTENANCE OF THE

VENTILATION SYSTEM. 10-103(B)4

NEWLY CONSTRUCTED BUILDINGS.

TEMPERATURE. 110.3(C)1

LAVATORIES TO 110°F. 110.3(C)3

110.3 (C)4

BACKUP TANKS FOR SOLAR WATER-HEATING SYSTEMS

R-VALUE OF AT LEAST R-12, OR

SYSTEM. 110.3(C)2

SHALL HAVE:

6. ANY APPLIANCE REGULATED BY THE APPLIANCE EFFICIENCY REGULATIONS, TITLE 20 CALIFORNIA CODE OF REGULATIONS, SECTION 1601 ET SEQ., MAY BE INSTALLED ONLY IF THE APPLIANCE FULLY COMPLIES WITH SECTION 1608(A) OF THOSE REGULATIONS. 110.1(A)

SERVICE WATER-HEATING SYSTEMS SHALL BE EQUIPPED WITH AUTOMATIC TEMPERATURE CONTROLS CAPABLE OF ADJUSTMENT FROM THE LOWEST TO THE HIGHEST ACCEPTABLE TEMPERATURE SETTINGS FOR THE INTENDED USE AS LISTED IN TABLE 3, CHAPTER 50 OF THE ASHRAE HANDBOOK, HVAC APPLICATIONS VOLUME. 110.3(A)1

8. ON SYSTEMS THAT HAVE A TOTAL CAPACITY GREATER THAN 167,000 BTU/HR, OUTLETS THAT REQUIRE HIGHER THAN SERVICE WATER TEMPERATURES AS LISTED IN THE ASHRAE HANDBOOK, APPLICATIONS VOLUME, SHALL HAVE SEPARATE REMOTE HEATERS, HEAT EXCHANGERS, OR BOOSTERS TO SUPPLY THE OUTLET WITH THE HIGHER

9. SERVICE HOT WATER SYSTEMS WITH CIRCULATING PUMPS OR WITH ELECTRICAL HEAT TRACE SYSTEMS SHALL BE CAPABLE OF AUTOMATICALLY TURNING OFF THE

10. CONTROLS FOR SERVICE WATER-HEATING SYSTEMS SHALL LIMIT THE OUTLET TEMPERATURE AT PUBLIC

11. UNFIRED SERVICE WATER-HEATER STORAGE TANKS AND

A. EXTERNAL INSULATION WITH AN INSTALLED

B. INTERNAL AND EXTERNAL INSULATION WITH A COMBINED RVALUE OF AT LEAST R-16, OR

C. THE HEAT LOSS OF THE TANK SURFACE BASED ON AN 80°F WATER-AIR TEMPERATURE DIFFERENCE SHALL BE LESS THAN 6.5 BTU/HR PER SQUARE FOOT. **12.** FOR NONRESIDENTIAL, HIGH-RISE RESIDENTIAL, AND HOTEL/MOTEL BUILDINGS, SPACE CONDITIONING SYSTEMS SHALL MEET THE EFFICIENCY STANDARDS SPECIFIED SECTION 120.2.

13. CONTINUOUSLY BURNING PILOT LIGHT SHALL BE PROHIBITED FOR THE FOLLOWING NATURAL GAS SYSTEM OR EQUIPMENT LISTED BELOW: (110.5)

A. FAN-TYPE CENTRAL FURNACES

B. HOUSEHOLD COOKING APPLIANCES, EXCEPT FOR HOUSEHOLD COOKING APPLIANCES WITHOUT AN ELECTRICAL SUPPLY VOLTAGE CONNECTION AND IN WHICH EACH PILOT CONSUMES LESS THAN 150 BTU/HR

C. POOL HEATERS **D. SPA HEATERS**

E. INDOOR AND OUTDOOR FIREPLACES 14. ANY POOL OR SPA HEATING SYSTEM OR EQUIPMENT

SHALL: (110.4) A. A THERMAL EFFICIENCY THAT COMPLIES WITH THE APPLIANCE EFFICIENCY REGULATIONS

> **B.** HAVE A READILY ACCESSIBLE ON-OFF SWITCH MOUNTED ON THE OUTSIDE OF THE HEATER THAT ALLOWS SHUTTING OFF THE HEATER WITHOUT ADJUSTING THE THERMOSTAT SETTING.

C. NOT UTILIZE ELECTRIC RESISTANCE HEATING. D. HAVE A COVER FOR OUTDOOR POOLS OR SPAS THAT HAVE A HEAT PUMP OR GAS HEATER.

E. HAVE A PERMANENT, EASILY READABLE, AND WEATHERPROOF INSTRUCTION CARD THAT GIVES INSTRUCTIONS FOR THE ENERGY EFFICIENT OPERATION OF THE POOL OR SPA HEATER AND FOR THE PROPER CARE OF POOL OR SPA WATER WHEN A COVER IS USED.

F. HAVE AT LEAST 36 INCHES OF PIPE INSTALLED BETWEEN THE FILTER AND HEATER OR DEDICATED SUCTION AND RETURN LINES, OR BUILT-IN OR BUILT-UP CONNECTIONS SHALL BE INSTALLED TO ALLOW FOR THE FUTURE ADDITION OF SOLAR HEATING EQUIPMENT.

G. HAVE DIRECTIONAL INLETS FOR THE POOL OR SPA THAT ADEQUATELY MIX THE POOL WATER.

H. A TIME SWITCH OR SIMILAR CONTROL MECHANISM SHALL BE INSTALLED AS PART OF A POOL WATER CIRCULATION CONTROL SYSTEM THAT WILL ALLOW ALL PUMPS TO BE SET OR PROGRAMMED TO RUN ONLY DURING THE OFF-PEAK ELECTRIC DEMAND PERIOD AND FOR THE MINIMUM TIME NECESSARY TO MAINTAIN THE WATER IN THE CONDITION REQUIRED BY APPLICABLE PUBLIC HEALTH STANDARDS.

15. MANUFACTURED FENESTRATION PRODUCTS AND EXTERIOR DOORS SHALL HAVE AIR INFILTRATION RATES NOT EXCEEDING 0.3 CFM/FT2 OF WINDOW AREA, 0.3 CFM/FT2 OF DOOR AREA FOR RESIDENTIAL DOORS, 0.3 CFM/FT2 OF NONRESIDENTIAL SINGLE DOOR AREA, AND 1.0 CFM/FT2 OF NONRESIDENTIAL DOUBLE DOOR AREA. 110.6(A)1

16. FENESTRATION PRODUCTS SHALL BE RATED IN ACCORDANCE WITH NFRC 100 FOR U-FACTOR, NFRC 200 FOR SHGC. AND VT OR USE THE APPLICABLE DEFAULT VALUE. FENESTRATION PRODUCTS SHALL HAVE A TEMPORARY LABEL, FOR MANUFACTURED FENESTRATION PRODUCTS AND EXTERIOR DOORS, A TEMPORARY LABEL CERTIFICATE APPROVED BY THE SUPERVISORY ENTITY (NFRC) MEETS THE REQUIREMENTS OF THIS SECTION. WHEN COMPONENT MODELING APPROACH IS USED AND FOR SITE-BUILT FENESTRATION PRODUCTS, A LABEL CERTIFICATE APPROVED BY THE SUPERVISORY ENTITY (NFRC) MEETS THE REQUIREMENTS OF THIS SECTION 10-111(A)1, 110.6(A)2, 110.6(A)3, 110.6(A)4, 110.6(A)5

17. FIELD-FABRICATED FENESTRATION PRODUCTS AND EXTERIOR DOORS, OTHER THAN UNFRAMED GLASS DOORS AND FIRE DOORS, SHALL BE CAULKED BETWEEN THE FENESTRATION PRODUCTS OR EXTERIOR DOOR AND THE BUILDING, AND SHALL BE WEATHERSTRIPPED. 110.6(B)

18. JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. 110.7

19. INSULATION SHALL BE CERTIFIED BY DEPARTMENT OF CONSUMER AFFAIRS. BUREAU OF ELECTRONIC AND APPLIANCE REPAIR, HOME FURNISHING AND THERMA INSULATION THAT THE INSULATION CONDUCTIVE THERMAL PERFORMANCE IS APPROVED PURSUANT TO THE CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 12, CHAPTER 12-13, ARTICLE 3, "STANDARDS FOR INSULATING MATERIAL." 110.8(A)

20. UREA FORMALDEHYDE FOAM INSULATION MAY ONLY BE USED IN EXTERIOR SIDE WALLS, AND REQUIRES A FOUR-MIL-THICK PLASTIC POLYETHYLENE VAPOR BARRIER BETWEEN THE UREA FORMALDEHYDE FOAM INSULATION AND THE INTERIOR SPACE IN ALL APPLICATIONS. 110.8(B)

21. INSULATING MATERIAL SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF THE CBC. 110.8(C)

22. INSULATION INSTALLED ON AN EXISTING SPACE CONDITIONING DUCT, IT SHALL COMPLY WITH SECTION 604.0 OF THE CMC. 110.8(D)3

23. EXTERNAL INSULATION INSTALLED ON AN EXISTING UNFIRED WATER STORAGE TANK OR ON AN EXISTING BACK-UP TANK FOR A SOLAR WATERHEATING SYSTEM. IT SHALL HAVE AN R-VALUE OF AT LEAST R-12, OR THE HEAT LOSS OF THE TANK SURFACE BASED ON AN 80°F WATER-AIR TEMPERATURE DIFFERENCE SHALL BE LESS THAN 6.5 BTU PER HOUR PER SQUARE FOOT. 110.8(D)2

24. INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803. SPECIFY THE CLASSIFICATIONS PER TABLE 803.12 AND SECTION 803.1.

RESIDENTIAL NOTES

1. A MASONRY OR FACTORY-BUILT FIREPLACE SHALL HAVE THE FOLLOWING: (150.0(E))

> A. CLOSEABLE METAL OR GLASS DOORS COVERING THE ENTIRE OPENING OF THE FIREBOX;

B. A COMBUSTION AIR INTAKE TO DRAW AIR FROM THE OUTSIDE OF THE BUILDING DIRECTLY INTO THE FIREBOX, WHICH IS AT LEAST SIX SQUARE INCHES IN AREA AND IS EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE, AND TIGHT-FITTING DAMPER OR COMBUSTION-AIR CONTROL DEVICE (EXCEPTION: AN OUTSIDE COMBUSTION-AIR INTAKE IS NOT REQUIRED IF THE FIREPLACE WILL BE INSTALLED OVER CONCRETE SLAB FLOORING AND THE FIREPLACE WILL NOT BE LOCATED ON AN EXTERIOR WALL.); AND

C. A FLUE DAMPER WITH A READILY ACCESSIBLE CONTROL

HEATING OR COOLING SYSTEMS, INCLUDING HEAT PUMPS, NOT CONTROLLED BY A CENTRAL ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) SHALL BE EQUIPPED WITH A SETBACK THERMOSTAT THAT MEET THE

REQUIREMENTS OF SECTION 110.2(C). 150.0(I) 3. GAS OR PROPANE WATER HEATERS SHALL HAVE: 150.0(N) A. A DEDICATED 125 VOLT, 20 AMP ELECTRICAL

RECEPTACLE THAT IS WITHIN 3 FEET FROM THE WATER HEATER. B. A CATEGORY III OR IV VENT, OR A TYPE B VENT

WITH STRAIGHT PIPE. **C.** CONDENSATE DRAIN THAT IS NO MORE THAN 2

INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER, AND ALLOWS NATURAL DRAINING WITHOUT PUMP ASSISTANCE.

D. A GAS SUPPLY LINE WITH A CAPACITY OF AT LEAST 200,000 BTU/HR

4. ALL PUMPS AND PUMP MOTORS INSTALLED SHALL BE LISTED IN THE COMMISSION'S DIRECTORY OF CERTIFIED EQUIPMENT AND SHALL COMPLY WITH THE APPLIANCE EFFICIENCY REGULATIONS. 150.0(P)1.A

5. THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT OF ANY LOOSEFILL INSULATION SHALL CONFORM WITH THE INSULATION MANUFACTURER'S LABELED R-VALUE. 150.0 (B) 6. THE MINIMUM DEPTH OF CONCRETE-SLAB FLOOR PERIMETER INSULATION SHALL BE 16 INCHES OR THE DEPTH OF THE FOOTING OF THE BUILDING, WHICHEVER IS LESS. 150.1(C)(1)(D)

7. RAISED-FLOORS SHALL BE INSULATED SUCH THAT THE FLOOR ASSEMBLY HAS AN ASSEMBLY U-FACTOR EQUAL TO OR LESS THAN SHOWN IN TABLE 150.1-(A) SINGLE FAMILY OR REQUIRED BY THIS CODE SHALL BE DESIGNED AND (B) MULTIFAMILY 150.1(C)1.C

8. ALL NEW BUILDINGS AND ADDITIONS >700 SQFT SHALL COMPLY WITH THE QUALITY INSULATION INSTALLATION (QII) REQUIREMENTS SHOWN IN TABLE 150.1-(A) SINGLE FAMILY OR (B) MULTIFAMILY. WHEN QII IS REQUIRED, INSULATION INSTALLATION SHALL MEET THE CRITERIA SPECIFIED IN REFERENCE APPENDIX RA3.5. 150.1(C)1.E

9. INSULATIONS ARE REQUIRED FOR: 150.0(J)2.A **A.** ALL HOT WATER PIPES FROM THE HEATING

> SOURCE TO THE KITCHEN FIXTURES. **B.** ALL PIPING WITH A NOMINAL DIAMETER TO OR

GREATER THAN 3/4 INCH AND LESS THAN 1 INCH. C. THE FIRST 5 FEET (1.5 METERS) OF HOT AND COLD

WATER PIPES FROM THE STORAGE TANK. D. ALL PIPING ASSOCIATED WITH A DOMESTIC HOT WATER RECIRCULATION SYSTEM.

E. PIPING FROM THE HEATING SOURCE TO STORAGE TANK OR BETWEEN TANKS.

F. PIPING BURIED BELOW GRADE. **10.** INSULATION SHALL BE PROVIDED FOR WATER HEATERS

AS FOLLOWS:

A. UNFIRED HOT WATER TANKS, SUCH AS STORAGE TANKS AND BACKUP STORAGE TANKS FOR SOLAR WATER-HEATING SYSTEMS, SHALL BE EXTERNALLY WRAPPED WITH INSULATION HAVING AN INSTALLED THERMAL RESISTANCE OF R-12 OR GREATER OR HAVE INTERNAL INSULATION OF AT LEAST R-16 AND A LABEL ON THE EXTERIOR OF THE TANK SHOWING THE INSULATION R-VALUE. 150.0 (J)1

11. LIGHTING 150.0(K) A. INSTALLED LUMINAIRES SHALL BE CLASSIFIED AS HIGH-EFFICACY IN ACCORDANCE WITH TABLE 150.0-A.

> **B.** EXHAUST FANS SHALL BE CONTROLLED SEPARATELY FROM LIGHTING SYSTEMS.

C. LUMINARIES SHALL BE SWITCHED WITH READILY ACCESSIBLE WALL-MOUNTED CONTROLS THAT PERMIT THE LUMINARIES TO BE MANUALLY TURNED ON AND OFF.

D. LIGHTING INSTALLED IN ATTACHED AND DETACHED GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY VACANCY SENSORS.

E. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8. EXCEPTION 1: LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET. EXCEPTION 2: LUMINAIRES IN HALLWAYS.

F. IN A LOW-RISE MULTIFAMILY RESIDENTIAL BUILDING WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS 20 PERCENT OR INFORMATION: LESS OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING FOR THE INTERIOR COMMON AREAS IN THAT BUILDING SHALL BE HIGH EFFICACY LUMINAIRES OR CONTROLLED BY AN OCCUPANT SENSOR

G. IN A LOW-RISE MULTIFAMILY RESIDENTIAL BUILDING WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS MORE THAN 20 PERCENT OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING IN THAT BUILDING SHALL:

> I. COMPLY WITH THE APPLICABLE REQUIREMENTS IN SECTIONS 110.9, 130.0, 130.1, 140.6 AND 141.0; AND

II. LIGHTING INSTALLED IN CORRIDORS AND STAIRWELLS SHALL BE CONTROLLED BY OCCUPANT SENSORS THAT REDUCE THE LIGHTING POWER IN EACH SPACE BY AT LEAST 50 PERCENT. THE OCCUPANT SENSORS SHALL BE CAPABLE OF TURNING THE LIGHT FULLY ON AND OFF FROM ALL DESIGNED PATHS OF INGRESS AND EGRESS

FIRE PROTECTION & LIFE SAFETY

1. IN BUILDINGS WHERE MORE THAN ONE STANDPIPE IS PROVIDED, THE STANDPIPES SHALL BE INTERCONNECTED IN ACCORDANCE WITH NFPA 14. (905.4.2)

2. AREA SMOKE DETECTORS SHALL BE PROVIDED IN ACCORDANCE WITH THIS SECTION. SMOKE DETECTORS SHALL BE CONNECTED TO AN AUTOMATIC FIRE ALARM SYSTEM. THE ACTIVATION OF ANY DETECTOR REQUIRED BY THIS SECTION SHALL ACTIVATE THE EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM IN ACCORDANCE WITH SECTION 907.5.2.2. IN ADDITION TO SMOKE DETECTORS REQUIRED BY SECTIONS 907.2.1 THROUGH 907.2.9, SMOKE DETECTORS SHALL BE LOCATED AS FOLLOWS:

> 1. IN EACH MECHANICAL EQUIPMENT, ELECTRICAL TRANSFORMER, TELEPHONE EQUIPMENT OR SIMILAR ROOM THAT IS NOT PROVIDED WITH

SPRINKLER PROTECTION. 2. IN EACH ELEVATOR MACHINE ROOM, MACHINERY SPACE, CONTROL ROOM AND CONTROL SPACE AND IN ELEVATOR LOBBIES.

3. SMOKE DETECTORS LISTED FOR USE IN AIR DUCT SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH THIS SECTION AND THE CALIFORNIA MECHANICAL CODE. THE ACTIVATION OF ANY DETECTOR REQUIRED BY THIS SECTION SHALL INITIATE A VISIBLE AND AUDIBLE SUPERVISORY SIGNAL AT A CONSTANTLY ATTENDED LOCATION. DUCT SMOKE DETECTORS COMPLYING WITH SECTION 907.3.1 SHALL BE LOCATED AS FOLLOWS:

> 1. IN THE MAIN RETURN AIR AND EXHAUST AIR PLENUM OF EACH AIR-CONDITIONING SYSTEM HAVING A CAPACITY GREATER THAN 2.000 CUBIC FEET PER MINUTE (CFM) (0.94 M3/S). SUCH DETECTORS SHALL BE LOCATED IN A SERVICEABLE AREA DOWNSTREAM OF THE LAST DUCT INLET.

2. AT EACH CONNECTION TO A VERTICAL DUCT OR RISER SERVING TWO OR MORE STORIES FROM A RETURN AIR DUCT OR PLENUM OF AN AIR-CONDITIONING SYSTEM. IN GROUP R-1 AND R-2 OCCUPANCIES, A SMOKE DETECTOR IS ALLOWED TO BE USED IN EACH RETURN AIR RISER CARRYING NOT MORE THAN 5,000 CFM (2.4 M3/S) AND SERVING NOT MORE THAN 10 AIR-INLET OPENINGS.

4. SMOKE DETECTORS INSTALLED IN DUCTS SHALL BE LISTED FOR THE AIR VELOCITY, TEMPERATURE AND HUMIDITY PRESENT IN THE DUCT. DUCT SMOKE DETECTORS SHALL BE CONNECTED TO THE BUILDING'S FIRE ALARM CONTROL UNIT WHERE A FIRE ALARM SYSTEM IS REQUIRED BY SECTION 907.2. ACTIVATION OF A DUCT SMOKE DETECTOR SHALL INITIATE A VISIBLE AND AUDIBLE SUPERVISORY SIGNAL AT A CONSTANTLY ATTENDED LOCATION AND SHALL PERFORM THE INTENDED FIRE SAFETY FUNCTION IN ACCORDANCE WITH THIS CODE AND THE CALIFORNIA MECHANICAL CODE. IN FACILITIES THAT ARE REQUIRED TO BE MONITORED BY A SUPERVISING STATION, DUCT SMOKE DETECTORS SHALL REPORT ONLY AS A SUPERVISORY SIGNAL AND NOT AS A FIRE ALARM. THEY SHALL NOT BE USED AS A SUBSTITUTE FOR REQUIRED OPEN AREA DETECTION.

5. WHERE A WIRED COMMUNICATION SYSTEM IS APPROVED IN LIEU OF AN EMERGENCY RESPONDER RADIO COVERAGE SYSTEM IN ACCORDANCE WITH SECTION 510 OF THE CALIFORNIA FIRE CODE, THE WIRED FIRE DEPARTMENT COMMUNICATION SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 72 AND SHALL OPERATE BETWEEN A FIRE COMMAND CENTER COMPLYING WITH SECTION 911, ELEVATORS, ELEVATOR LOBBIES, EMERGENCY AND STANDBY POWER ROOMS, FIRE PUMP ROOMS, AREAS OF REFUGE AND INSIDE INTERIOR EXIT STAIRWAYS. THE FIRE DEPARTMENT COMMUNICATION DEVICE SHALL BE PROVIDED AT EACH FLOOR LEVEL WITHIN THE INTERIOR EXIT STAIRWAY.

6. A FIRE ALARM SYSTEM SHALL ANNUNCIATE AT THE FIRE ALARM CONTROL UNIT AND SHALL INITIATE OCCUPANT NOTIFICATION UPON ACTIVATION, IN ACCORDANCE WITH SECTIONS 907.5.1 THROUGH 907.5.2.3.3. WHERE A FIRE ALARM SYSTEM IS REQUIRED BY ANOTHER SECTION OF THIS CODE, IT SHALL BE ACTIVATED BY:

1. AUTOMATIC FIRE DETECTORS 2. AUTOMATIC SPRINKLER SYSTEM WATERFLOW DEVICES. 3. MANUAL FIRE ALARM BOXES. 4. AUTOMATIC FIRE-EXTINGUISHING SYSTEMS.

7. EMERGENCY VOICE/ALARM COMMUNICATION SYSTEMS INSTALLED IN ACCORDANCE WITH NFPA 72. THE OPERATION OF ANY AUTOMATIC FIRE DETECTOR, SPRINKLER WATERFLOW DEVICE OR MANUAL FIRE ALARM BOX SHALL AUTOMATICALLY SOUND AN ALERT TONE FOLLOWED BY VOICE INSTRUCTIONS GIVING APPROVED INFORMATION AND DIRECTIONS FOR A GENERAL OR STAGED EVACUATION IN ACCORDANCE WITH THE BUILDING'S FIRE SAFETY AND **EVACUATION PLANS REQUIRED BY SECTION 404 OF THE** CALIFORNIA FIRE CODE. IN HIGH-RISE BUILDINGS AND GROUP I-2 OCCUPANCIES HAVING OCCUPIED FLOORS LOCATED MORE THAN 75 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS, THE SYSTEM SHALL OPERATE ON AT LEAST THE ALARMING FLOOR, THE FLOOR ABOVE AND THE FLOOR BELOW. SPEAKERS SHALL BE PROVIDED THROUGHOUT THE BUILDING BY PAGING ZONES. AT A MINIMUM, PAGING ZONES SHALL BE PROVIDED AS FOLLOWS:

1. ELEVATOR GROUPS. 2. INTERIOR EXIT STAIRWAYS. EACH FLOOR. 4. AREAS OF REFUGE AS DEFINED IN CHAPTER 2. FIRE COMMAND CENTER

THE FIRE COMMAND CENTER SHALL COMPLY WITH NFPA 72 AND SHALL CONTAIN ALL OF THE FOLLOWING FEATURES:

REQUIRED BY SECTION 907.6.4.3.

DISTRIBUTION SYSTEMS.

DOORS SIMULTANEOUSLY.

AND SMOKE PARTITIONS

INCLUDES: PROPERTY

OF NATURAL GAS SERVICE.

PRE-ACTION.

AND TRANSFER FEATURES.

EQUIPMENT OR STORAGE.

14. WORK TABLE

PROVIDED

NOTE:

PRIVATELY FUNDED.

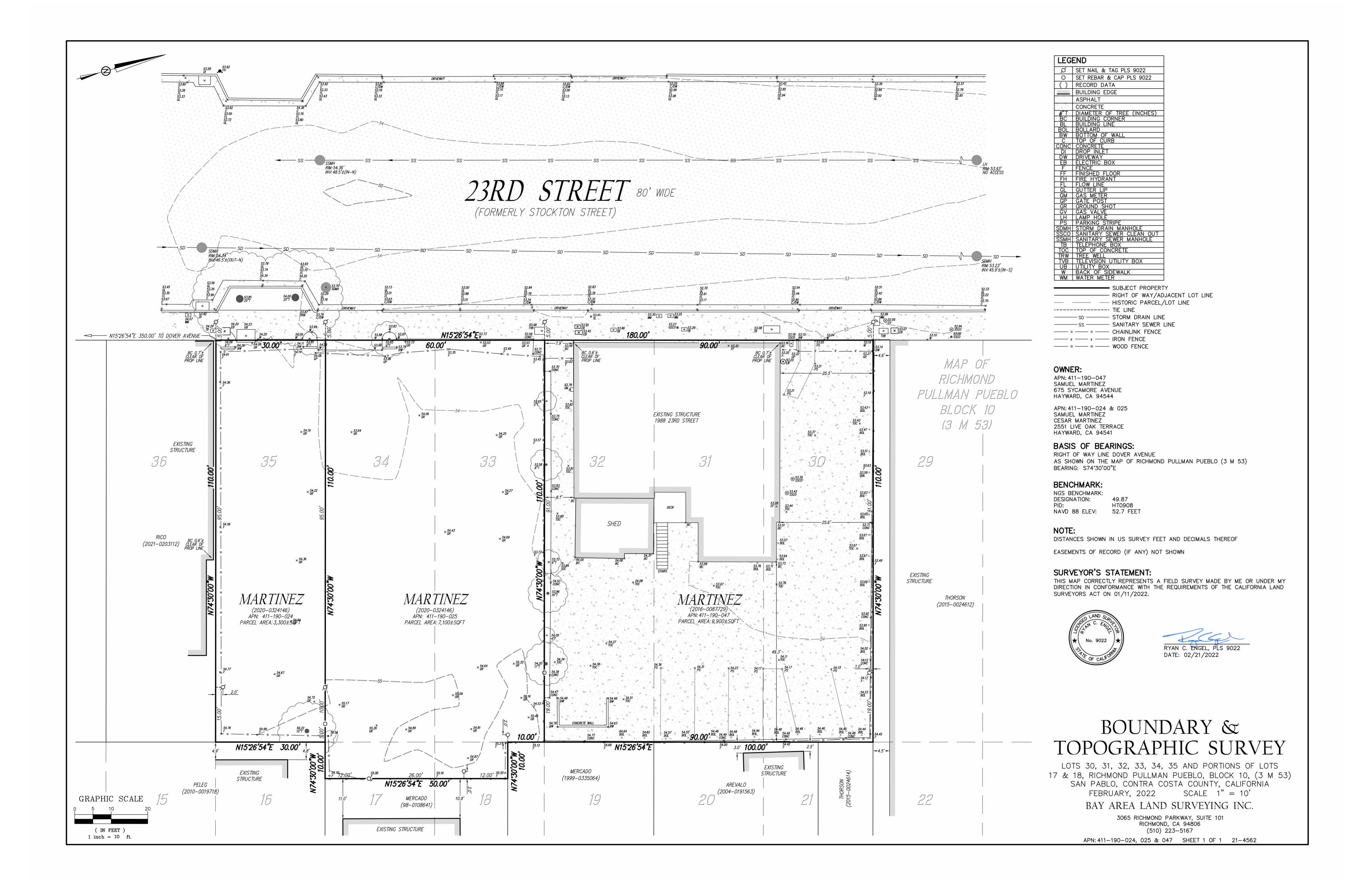
CONTROL UNIT.

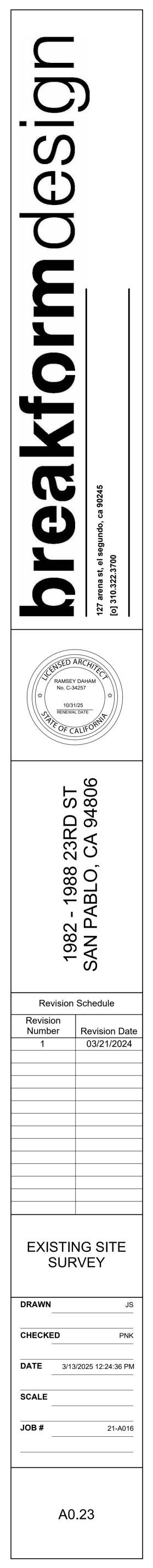
OPERATIONAL

IN THE BUILDING.

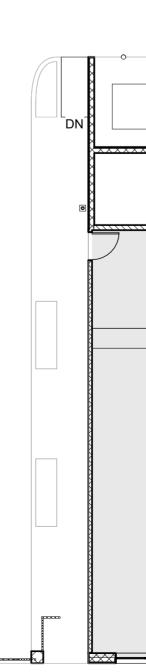
PANELS.

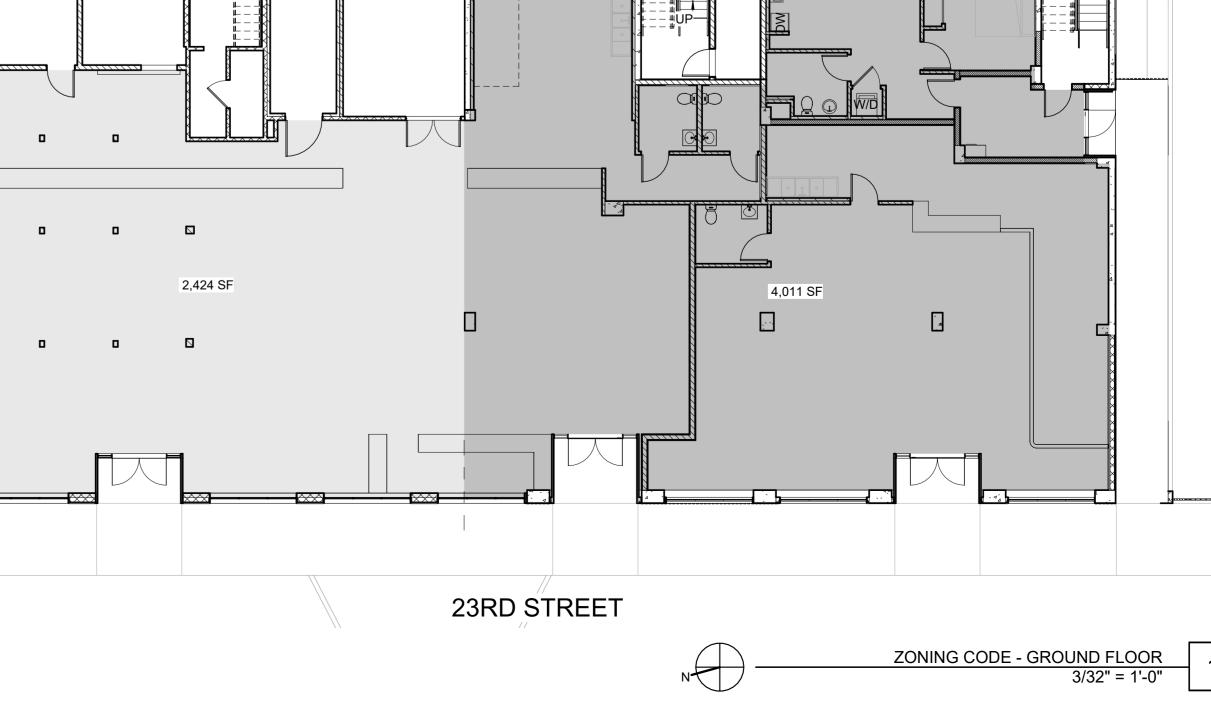






	ZONING CODE FL	OOR AREA		
	EXISTING	NEW	TOTAL	
GROUND FLOOR	2,424 SF	4,011 SF	6,435 SF	
SECOND FLOOR	972 SF	4,395 SF	5,367 SF	
TOTAL			11,802 SF	





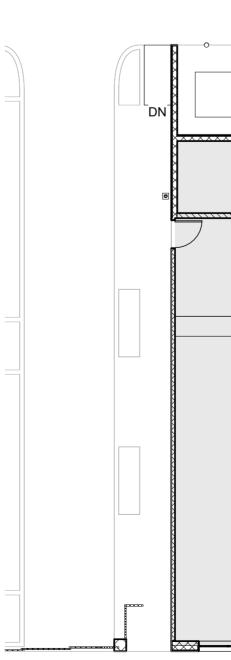
ZONING CODE - SECOND FLOOR 3/32" = 1'-0"

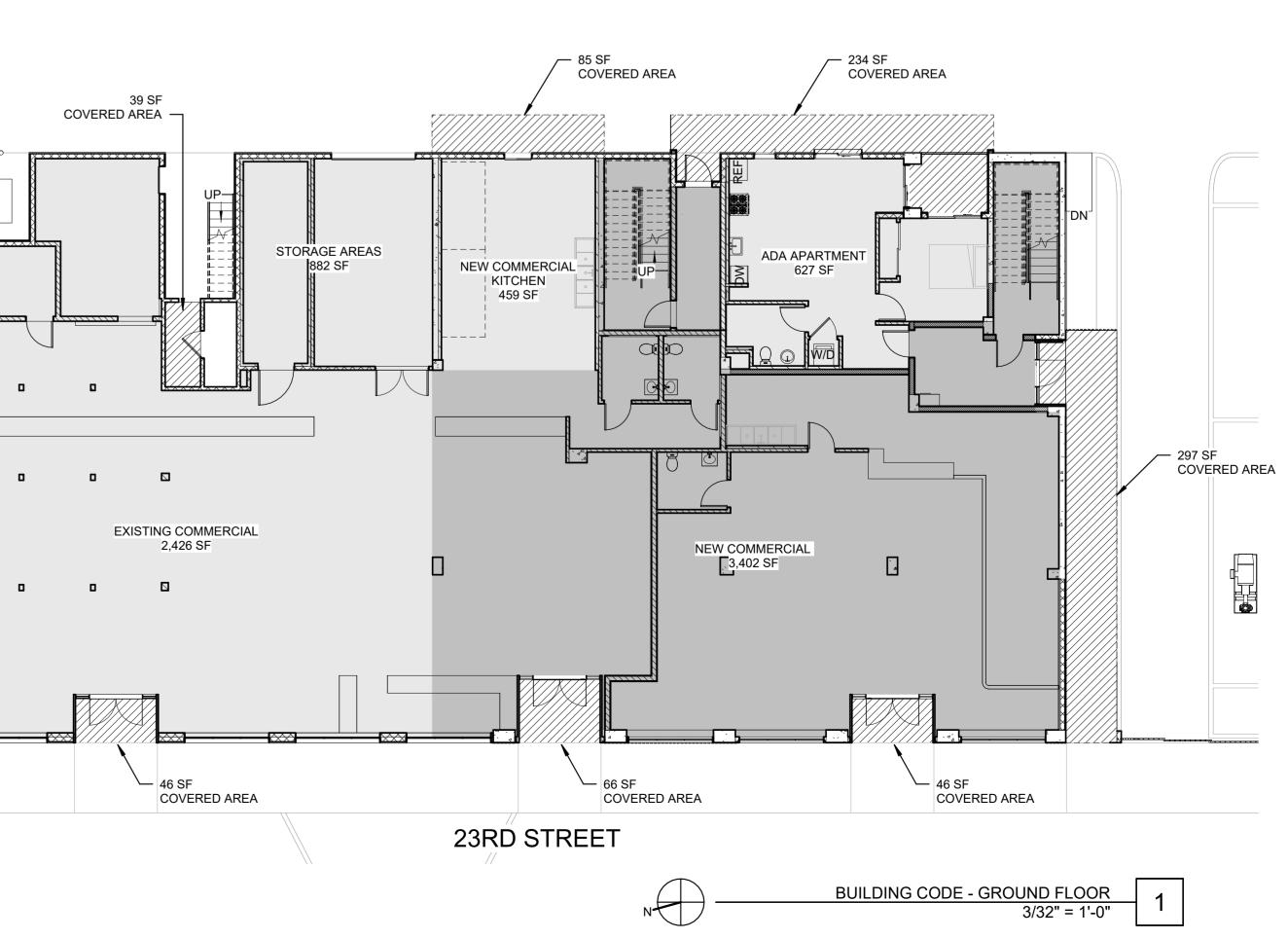
K X X X

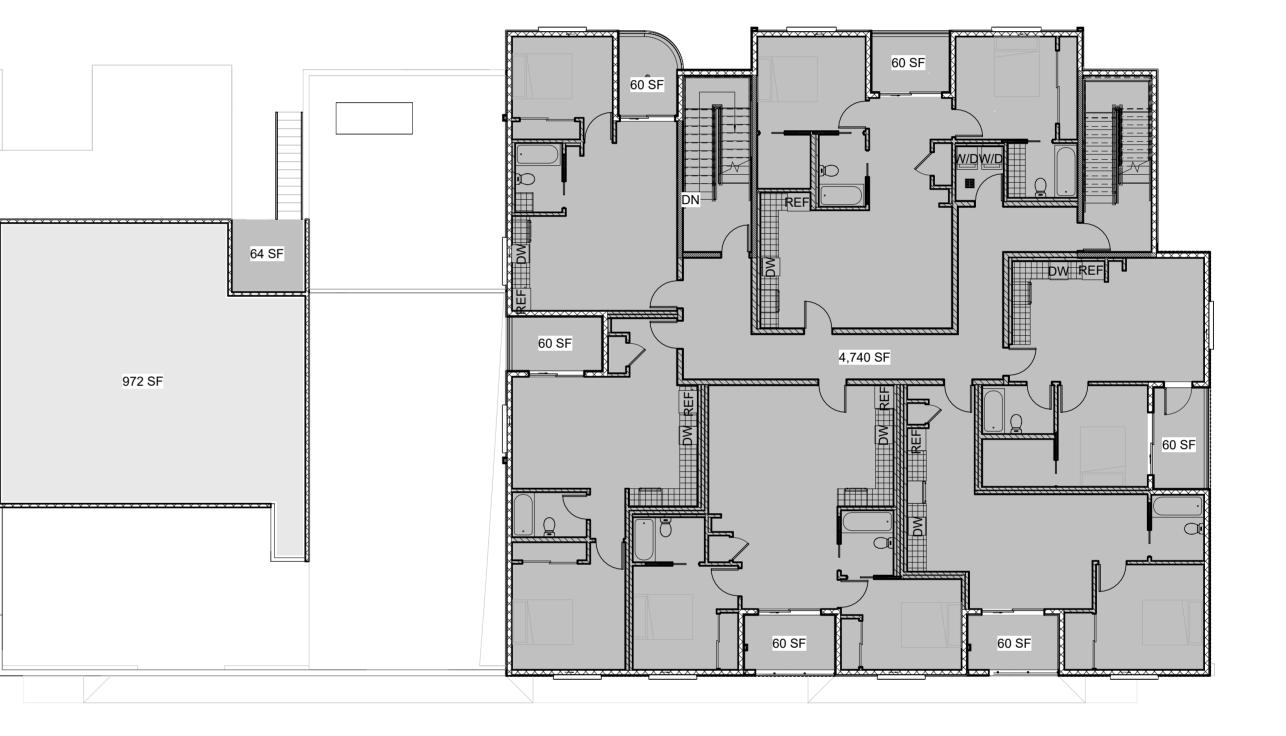


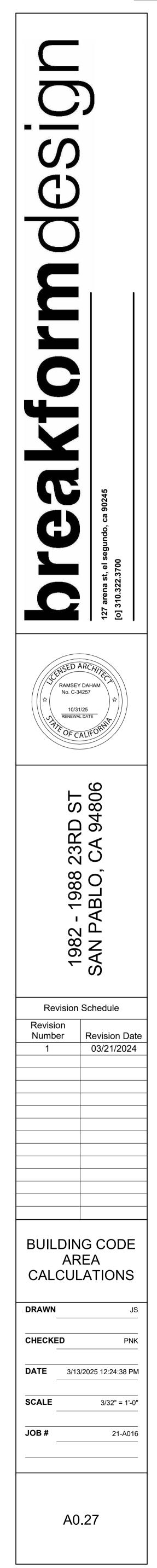
 \square S S ()C (H) NSED ARCHIN RAMSEY DAHAM No. C-34257 10/31/25 RENEWAL DATE PF OF CALIFO 1982 - 1988 23RD ST SAN PABLO, CA 94806 **Revision Schedule** Revision Number Revision Date 03/21/2024 1 ZONING CODE AREA CALCULATIONS DRAWN _____ PNK CHECKED _____ **DATE** 3/13/2025 12:24:37 PM SCALE 3/32" = 1'-0" _____ JOB # 21-A016 _____ A0.26

BUILDING CODE FLOOR AREA				
FLOOR	RESIDENTIAL	<u>COMMON</u>	<u>COVERED</u>	<u>TOTAL</u>
GROUND FLOOR	627 SF	7,169 SF	813 SF	8,611 SF
SECOND FLOOR	972 + 4,740 SF		424 SF	6,136 SF
TOTAL				44 747 05
TOTAL				14,747 SF

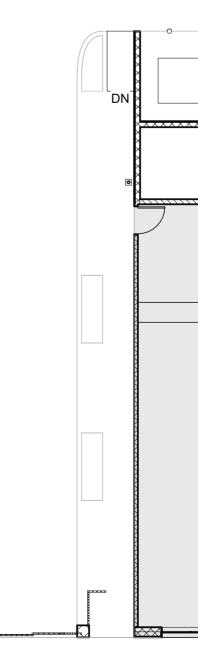




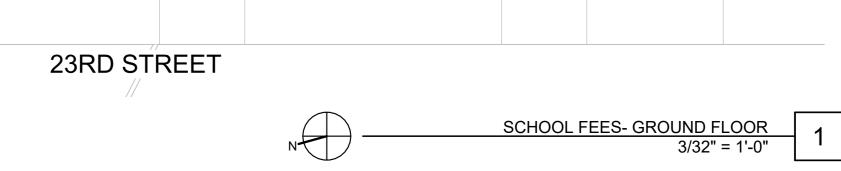


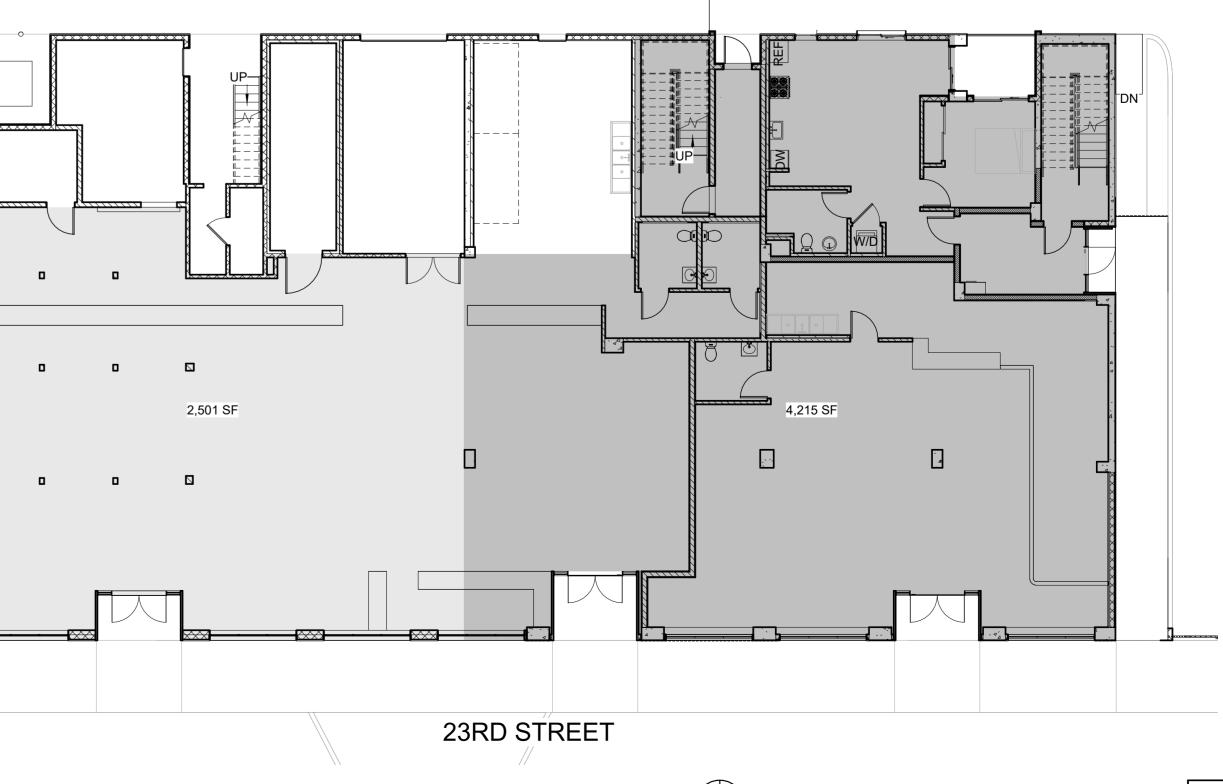


BUILDING CODE - SECOND FLOOR 3/32" = 1'-0"



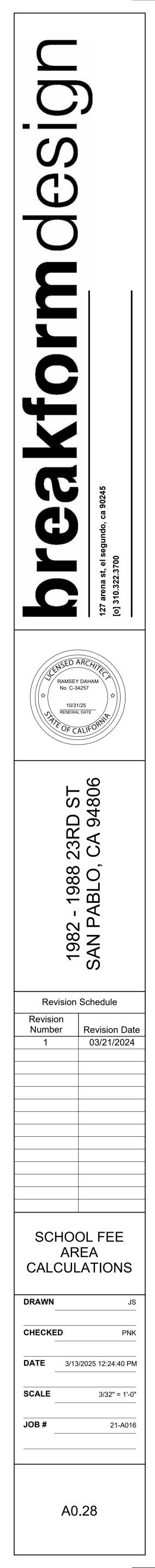
SCHOOL FEES FLOOR AREA			
GROUND FLOOR	6,716 SF		
SECOND FLOOR	4,807 SF		
TOTAL	11,523 SF		





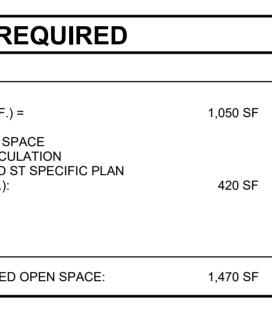




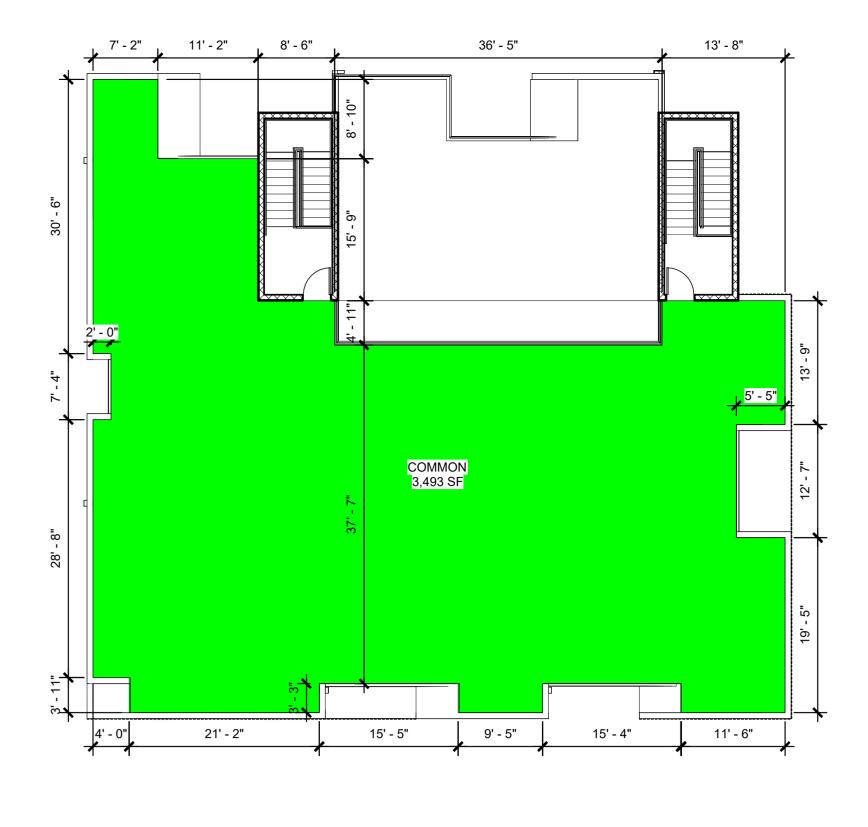


OPEN SP	ACE PROV	IDED VS. RE
PROVIDED		REQUIRED
COMMON OPEN SPACE: PRIVATE OPEN SPACE TOWARDS CALCULATION BASED ON 23RD ST SPECIFIC PLAN:	3,493 SF 420 SF	7 UNITS (150 S.F.) = PRIVATE OPEN SPA TOWARDS CALCUL BASED ON 23RD ST 7 UNITS (60 S.F.):
TOTAL PROVIDED OPEN SPACE:	3,912 SF	TOTAL REQUIRED (

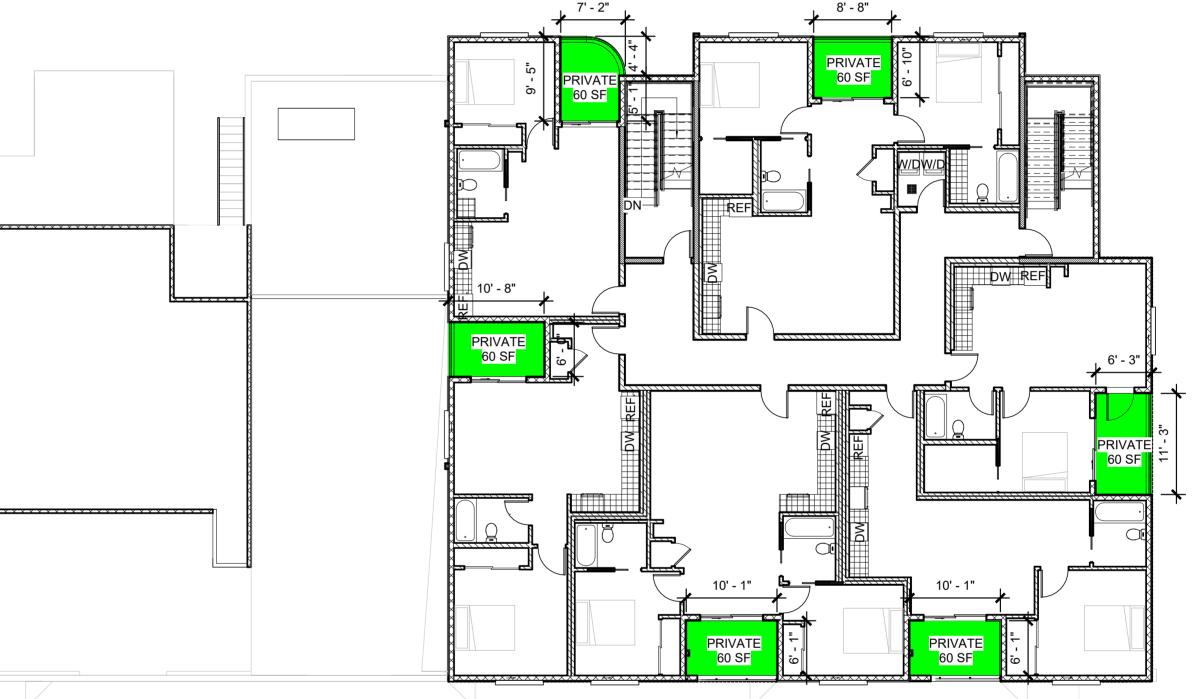
СОММ	ON OPEN SP	SPACE TREE COUNT		
PROVIDED		REQUIRED		
ON SITE TO BE REPLACED:	4	ON SITE TO BE REPLA		
1 TREE PER EVERY 4 UNITS: (7 UNITS / 4) =	2	1 TREE PER EVERY 4 (7 UNITS / 4) =		
TOTAL:	6 TREES	TOTAL:		



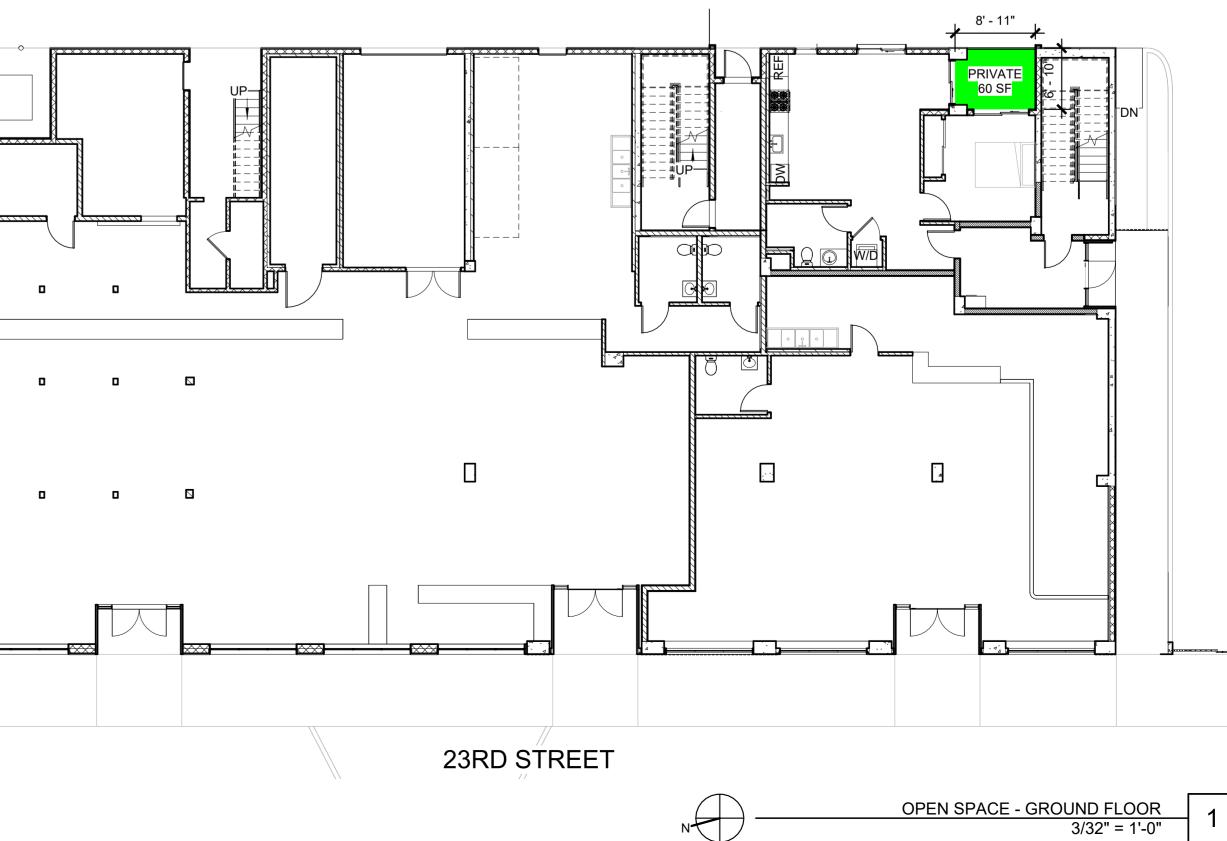
ACED:	4	
UNITS:	2	
	6 TREES	







OPEN SPACE - SECOND FLOOR 3/32" = 1'-0" N





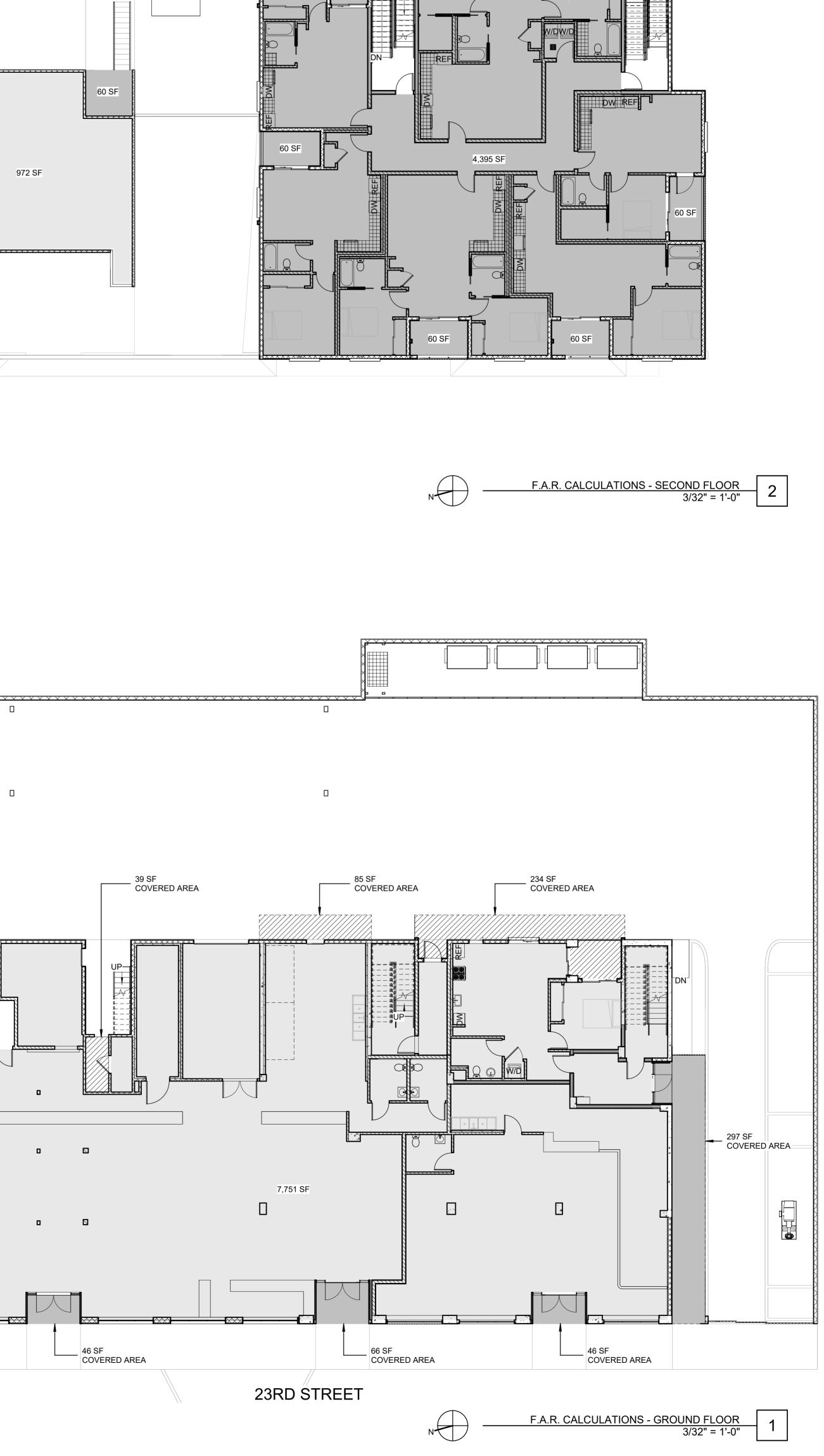
× • • •	× × ×	
		/

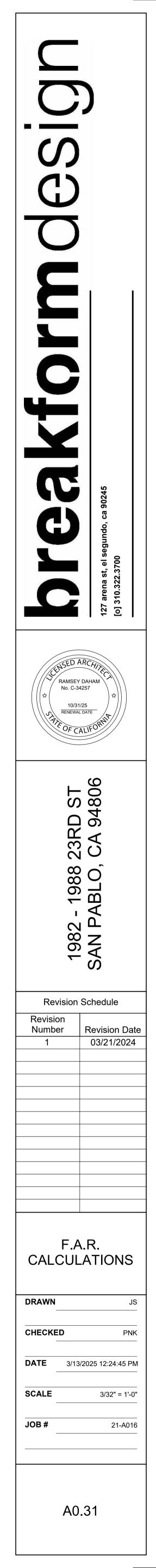
- BUILDABLE AREA:	20,300 S.F.	
	~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~	

20,300 S.F.

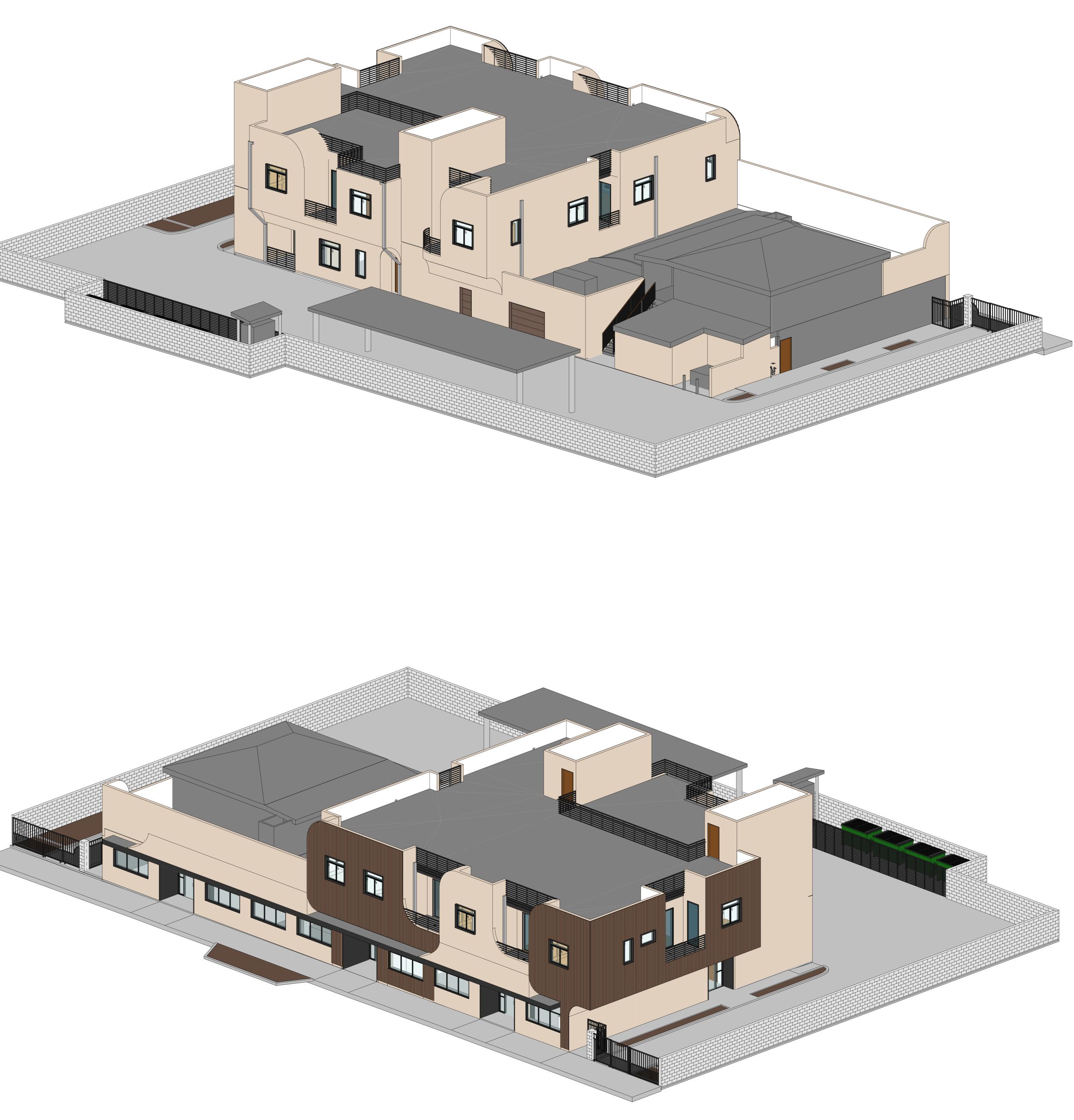
- LOT AREA:

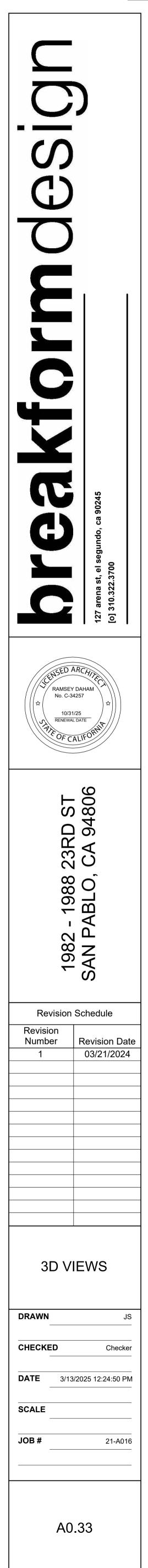
F.A.R. CALCULA	TIONS
GROUND FLOOR	7,751 SF 813 SF
SECOND FLOOR	5,367 SF 420 SF
TOTAL PROVIDED	14,351 SF

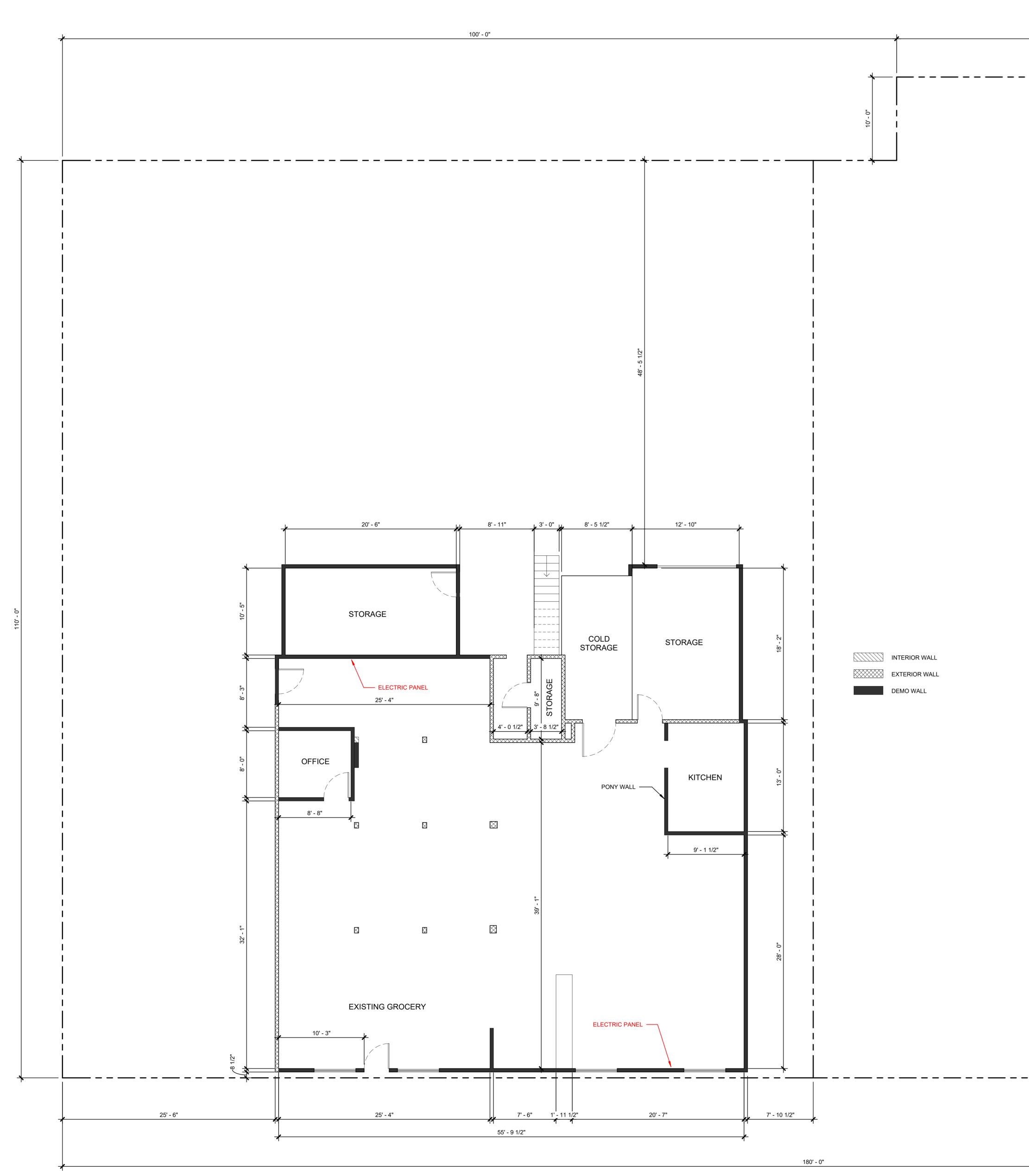






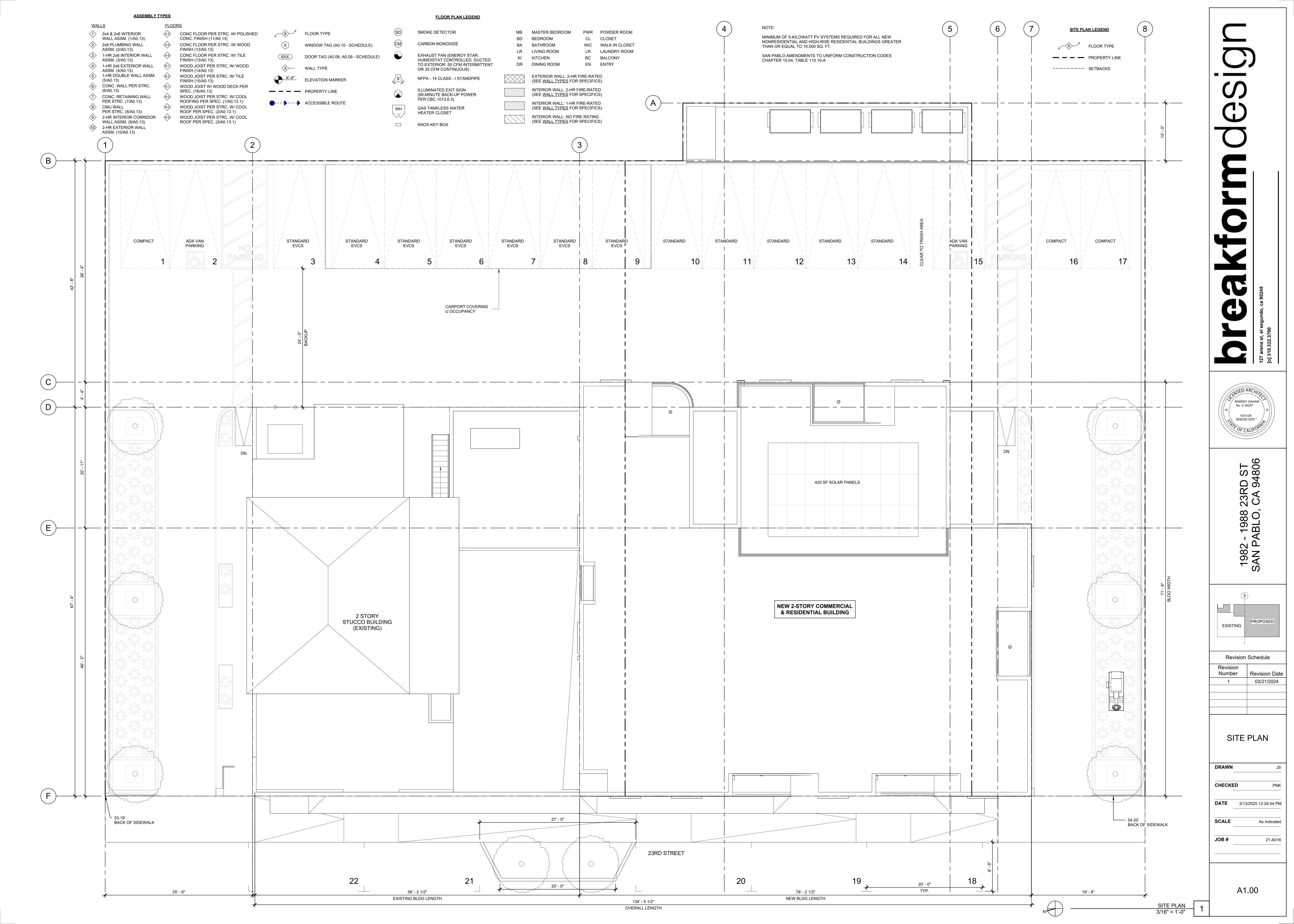


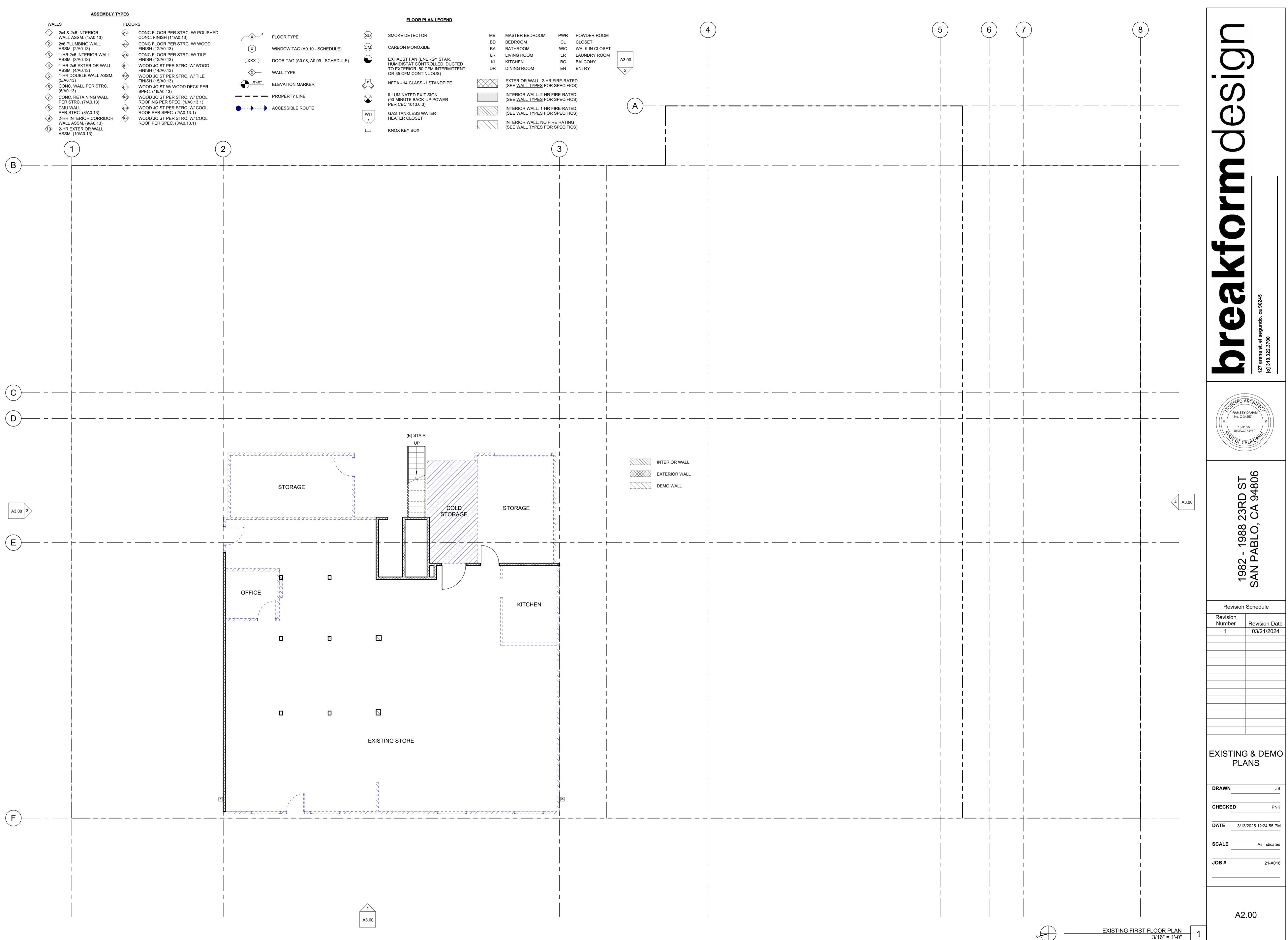


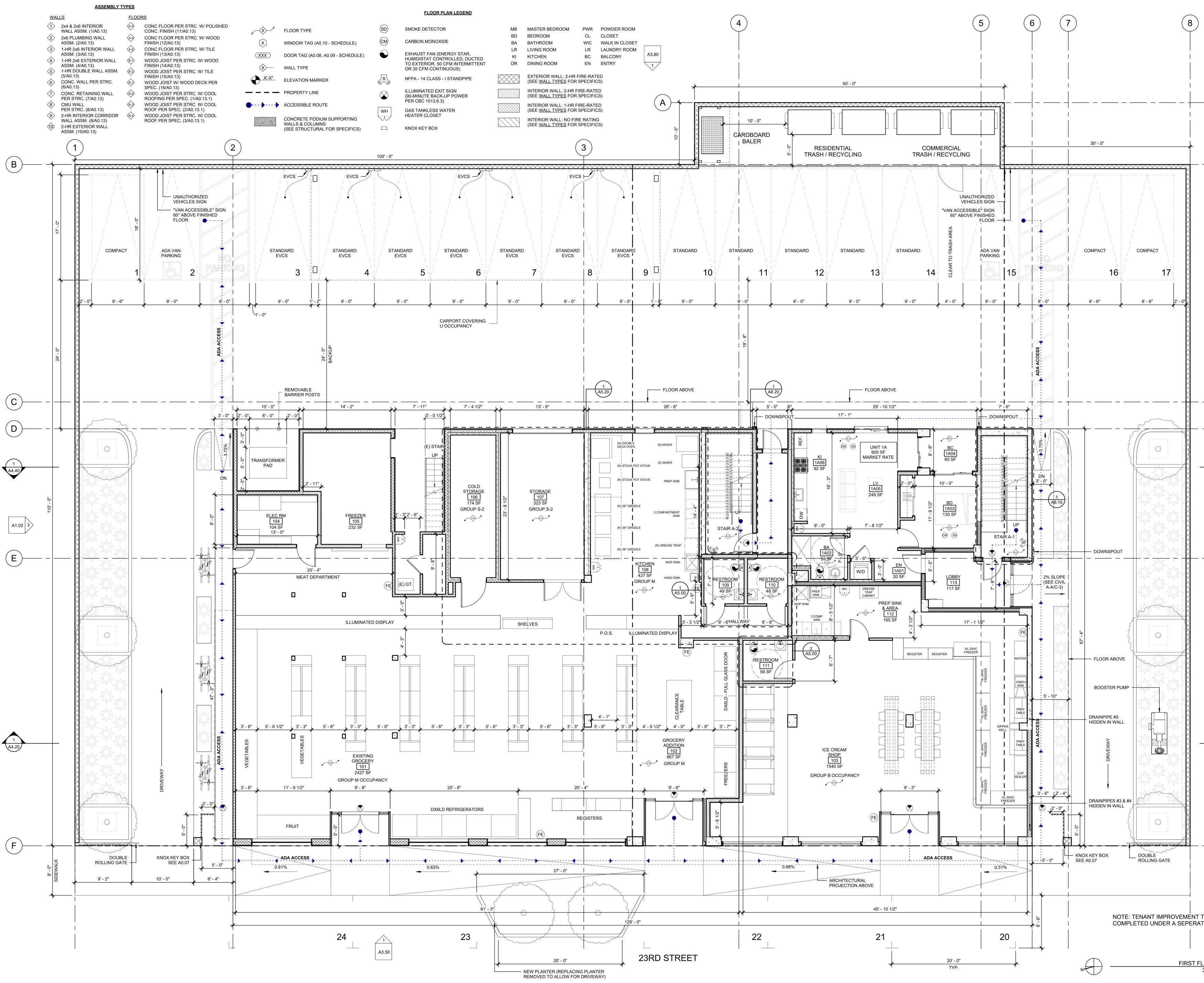


50' - 0"	30' - 0"

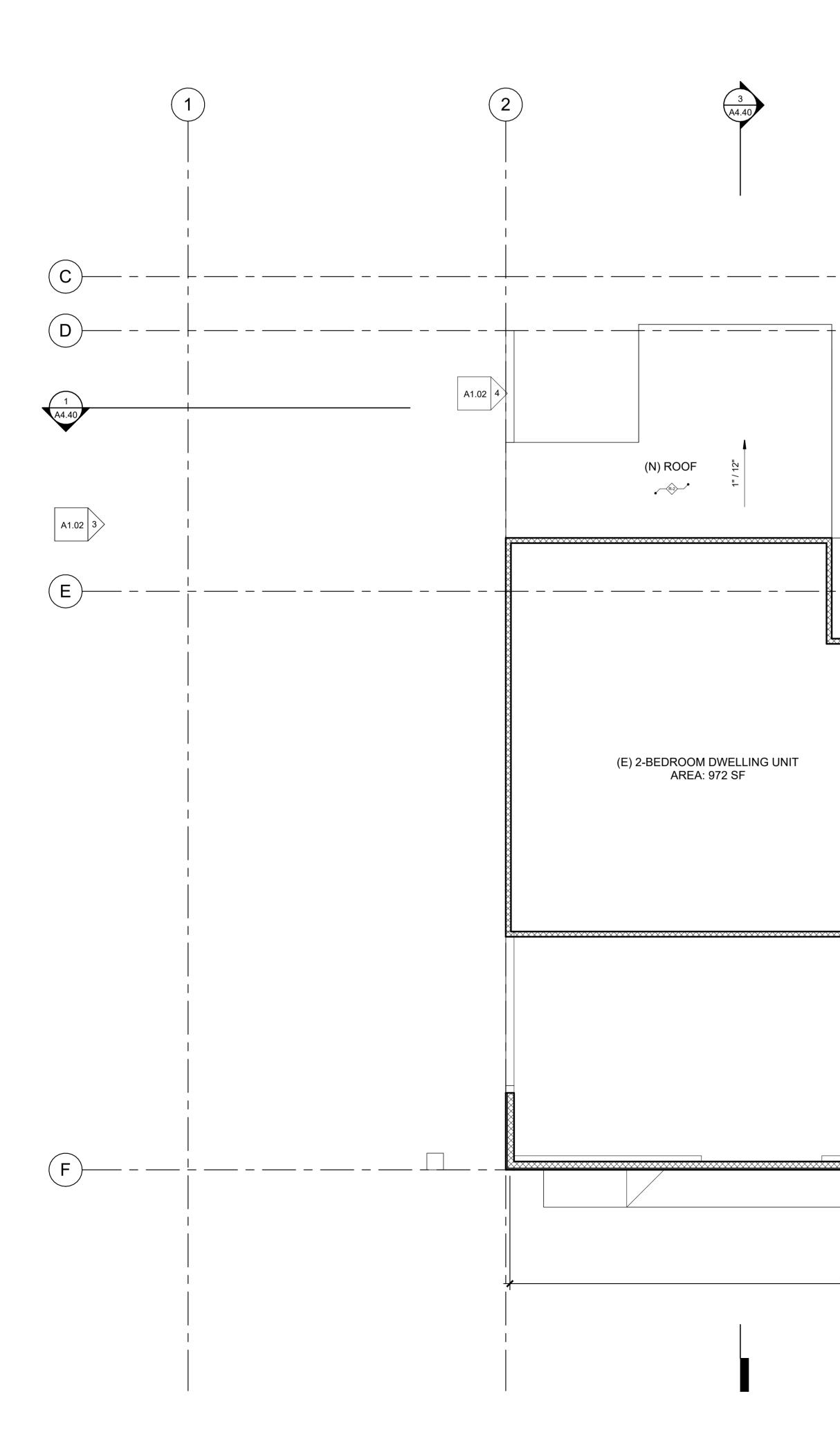
S (\mathbf{C}) C LENSED ARCHITE RAMSEY DAHAM No. C-34257 10/31/25 RENEWAL DATE THE OF CALIFOR 1982 - 1988 23RD ST SAN PABLO, CA 94806 **Revision Schedule** Revision Number Revision Date 03/21/2024 1 EXISTING / DEMO DRAWN JS _____ PNK CHECKED **DATE** 3/13/2025 12:24:51 PM SCALE 3/16" = 1'-0" JOB # 21-A016 A0.34





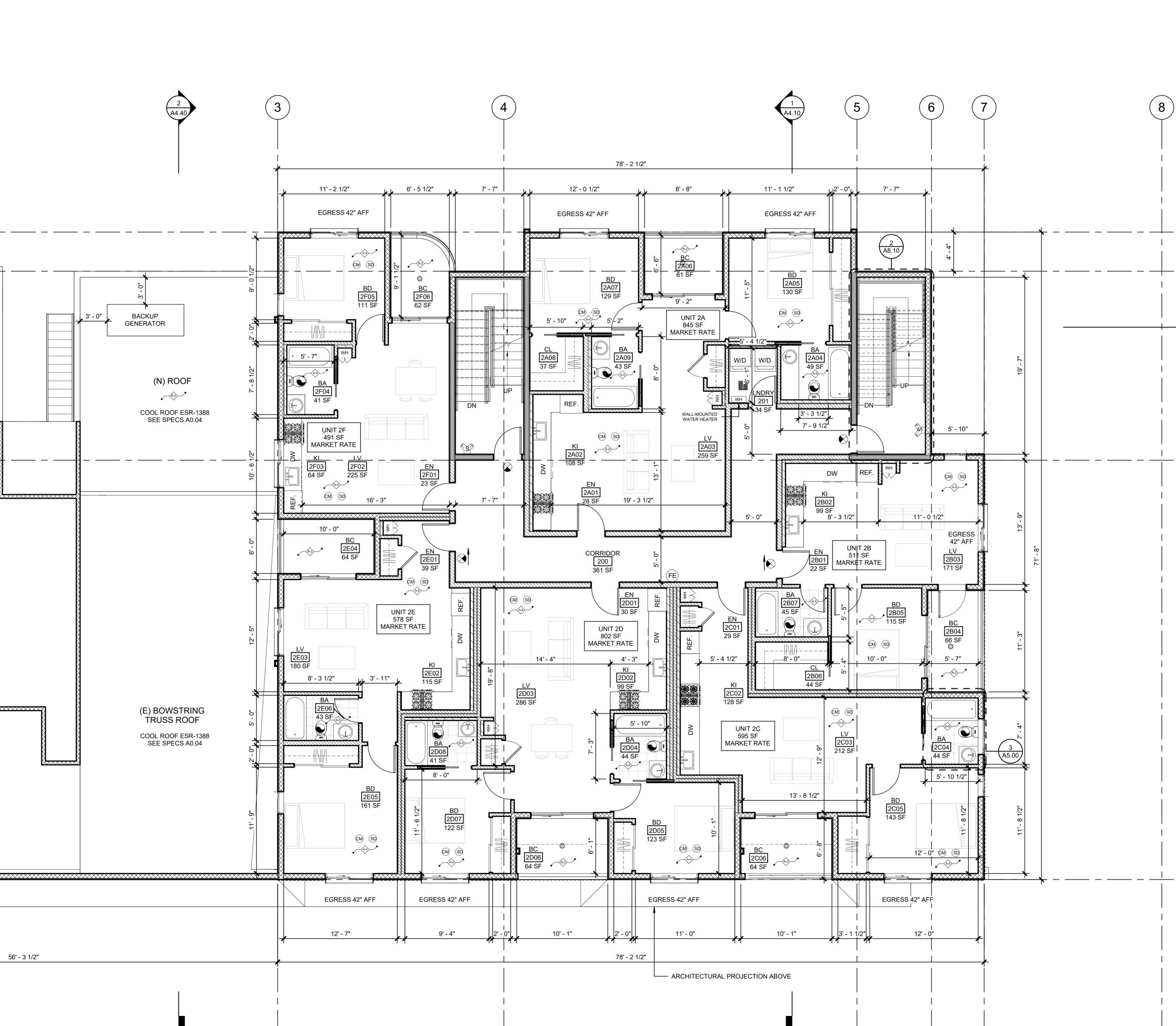


	Break Kform design		
	RAMSEY DAHAM No. C-34257		
1 A3.60	1982 - 1988 23RD ST SAN PABLO, CA 94806		
	3 EXISTING PROPOSED EXISTING PROPOSED Revision Schedule Revision Schedule Number Revision Date 1 03/21/2024		
	PROPOSED		
	PLANS DRAWN JS CHECKED PNK DATE 3/13/2025 12:24:58 PM SCALE As indicated JOB # 21-A016		
T TO BE ATE PERMIT <u>FLOOR PLAN</u> 3/16" = 1'-0"	A2.10		



ASSEMBLY TYPES				
W	ALLS	<u>FLOC</u>	<u>NRS</u>	
$\langle 1 \rangle$	2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.13)	(A-3)	CONC FLOOR PER STRC CONC. FINISH (11/A0.13)	
2	2x6 PLUMBING WALL ASSM. (2/A0.13)	A-4	CONC FLOOR PER STRC FINISH (12/A0.13)	
3	1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13)	(A-5)	CONC FLOOR PER STRC FINISH (13/A0.13)	
4	1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13)	B-1	WOOD JOIST PER STRC. FINISH (14/A0.13)	
5	1-HR DOUBLE WALL ASSM. (5/A0.13)	B-2	WOOD JOIST PER STRC. FINISH (15/A0.13)	
6	CONC. WALL PER STRC. (6/A0.13)	R-1	WOOD JOIST W/ WOOD E SPEC. (16/A0.13)	
	CONC. RETAINING WALL PER STRC. (7/A0.13)	R-2	WOOD JOIST PER STRC. ROOFING PER SPEC. (1/4	
8	CMU WALL PER STRC. (8/A0.13)	R-3	WOOD JOIST PER STRC. ROOF PER SPEC. (2/A0.1	
9	2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13)	R-4	WOOD JOIST PER STRC. ROOF PER SPEC. (3/A0.1	
\land	· /		(

WALL ASSM. (9/A0.13) 10 2-HR EXTERIOR WALL ASSM. (10/A0.13)



RC. W/ POLISHED	° × ×	FLOOR TYPE	SD
3) RC. W/ WOOD	X	WINDOW TAG (A0.10 - SCHEDULE)	CM
RC. W/ TILE	XXX	DOOR TAG (A0.08, A0.09 - SCHEDULE)	
RC. W/ WOOD	\$	WALL TYPE	
RC. W/ TILE	<u> </u>	ELEVATION MARKER	s
D DECK PER		PROPERTY LINE	\bigotimes
RC. W/ COOL (1/A0.13.1) RC. W/ COOL 0.13.1) RC. W/ COOL	•	ACCESSIBLE ROUTE	WH
0.13.1)			

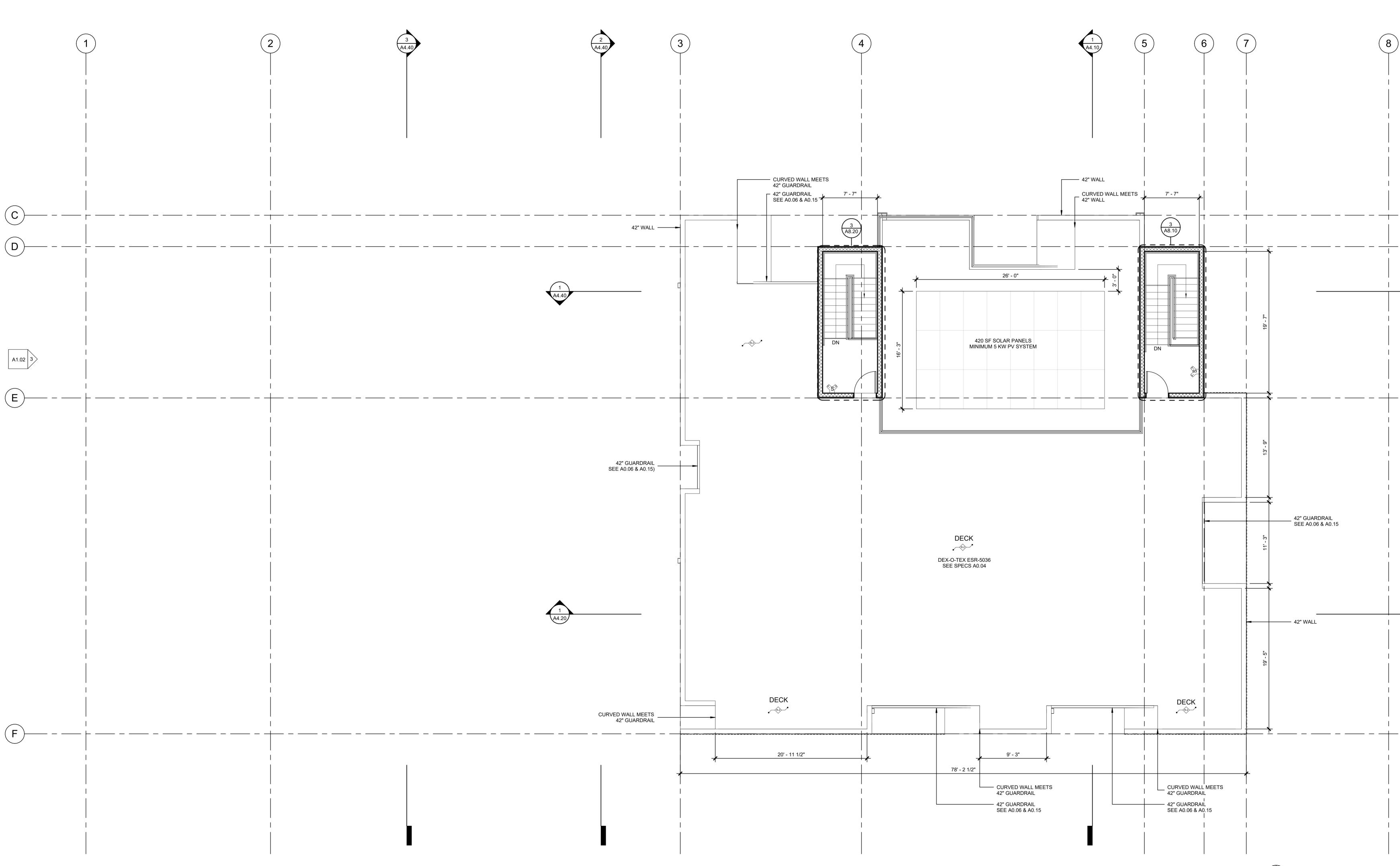
FLOOR PLAN LEGEND

N

KNOX KEY BOX

SMOKE DETECTOR	MB	MASTER BEDROOM	PWR	P
	BD	BEDROOM	CL	С
CARBON MONOXIDE	BA	BATHROOM	WIC	W
	LR	LIVING ROOM	LR	L
EXHAUST FAN (ENERGY STAR, HUMIDISTAT CONTROLLED, DUCTED	KI	KITCHEN	BC	B
TO EXTERIOR. 50 CFM INTERMITTENT OR 35 CFM CONTINUOUS)	DR	DINING ROOM	EN	E
NFPA - 14 CLASS - I STANDPIPE		EXTERIOR WALL: 2-HR (SEE <u>WALL TYPES</u> FOF	=	
ILLUMINATED EXIT SIGN (90-MINUTE BACK-UP POWER		INTERIOR WALL: 2-HR (SEE <u>WALL TYPES</u> FOF		
PER CBC 1013.6.3) GAS TANKLESS WATER HEATER CLOSET		INTERIOR WALL: 1-HR (SEE <u>WALL TYPES</u> FOF		
		INTERIOR WALL: NO FI (SEE <u>WALL TYPES</u> FOF		-

TER BEDROOMPWRPOWDER ROOMROOMCLCLOSETIROOMIRLAUNDRY ROOMIENBCBALCONYNG ROOMENENTRYERIOR WALL:2-HR FIRE-RATEDWALL TYPES FOR SPECIFICSIROR WALL:1-HR FIRE-RATEDWALL TYPES FOR SPECIFICSIROR WALL:1-HR FIRE-RATEDWALL TYPES FOR SPECIFICSIROR WALL:1-HR FIRE-RATEDWALL TYPES FOR SPECIFICSIROR WALL:N FIRE RATINGWALL TYPES FOR SPECIFICSIROR WALL:NO FIRE RATINGWALL TYPES FOR SPECIFICS	kform design
	Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solution Solut
1 A3.60	1982 - 1988 23RD ST SAN PABLO, CA 94806
	3 EXISTING PROPOSED EXISTING PROPOSED Revision Schedule Revision Revision Date 1 03/21/2024
	PROPOSED PLANS DRAWN JS CHECKED PNK DATE 3/13/2025 12:25:02 PM SCALE As indicated JOB # 21-A016
SECOND FLOOR PLAN 3/16" = 1'-0"	A2.20



ASSEME	BLY TYPES					FLOOR PLAN LEGEND
WALLS	FLOC	DRS	<u>^</u>			
2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.13)	(A-3)	CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (11/A0.13)	o X	FLOOR TYPE	(SD)	SMOKE DETECTOR
2x6 PLUMBING WALL ASSM. (2/A0.13)	(A-4)	CONC FLOOR PER STRC. W/ WOOD FINISH (12/A0.13)	X	WINDOW TAG (A0.10 - SCHEDULE)	(CM)	CARBON MONOXIDE
(3) 1-HR 2x6 INTERIOR WAL ASSM. (3/A0.13)	L (A-5)	CONC FLOOR PER STRC. W/ TILE FINISH (13/A0.13)	XXX	DOOR TAG (A0.08, A0.09 - SCHEDULE)		EXHAUST FAN (ENERGY STAR, HUMIDISTAT CONTROLLED, DUC
4 1-HR 2x6 EXTERIOR WA ASSM. (4/A0.13)	LL (B-1)	WOOD JOIST PER STRC. W/ WOOD FINISH (14/A0.13)	\$	WALL TYPE		TO EXTERIOR. 50 CFM INTERMIT OR 35 CFM CONTINUOUS)
5 1-HR DOUBLE WALL ASS (5/A0.13)	SM. B-2	WOOD JOIST PER STRC. W/ TILE FINISH (15/A0.13)	<u> </u>	ELEVATION MARKER	s	NFPA - 14 CLASS - I STANDPIPE
6 CONC. WALL PER STRC (6/A0.13)	. (R-1)	WOOD JOIST W/ WOOD DECK PER SPEC. (16/A0.13)		PROPERTY LINE	\bigotimes	ILLUMINATED EXIT SIGN (90-MINUTE BACK-UP POWER
CONC. RETAINING WALL PER STRC. (7/A0.13)	R-2>	WOOD JOIST PER STRC. W/ COOL ROOFING PER SPEC. (1/A0.13.1)	•	ACCESSIBLE ROUTE		PER CBC 1013.6.3)
CMU WALL PER STRC. (8/A0.13)	R-3	WOOD JOIST PER STRC. W/ COOL ROOF PER SPEC. (2/A0.13.1)	• • •		WH	GAS TANKLESS WATER HEATER CLOSET
2-HR INTERIOR CORRID WALL ASSM. (9/A0.13)	OR R-4	WOOD JOIST PER STRC. W/ COOL ROOF PER SPEC. (3/A0.13.1)			\bigvee	
10 2-HR EXTERIOR WALL						KNOX KEY BOX

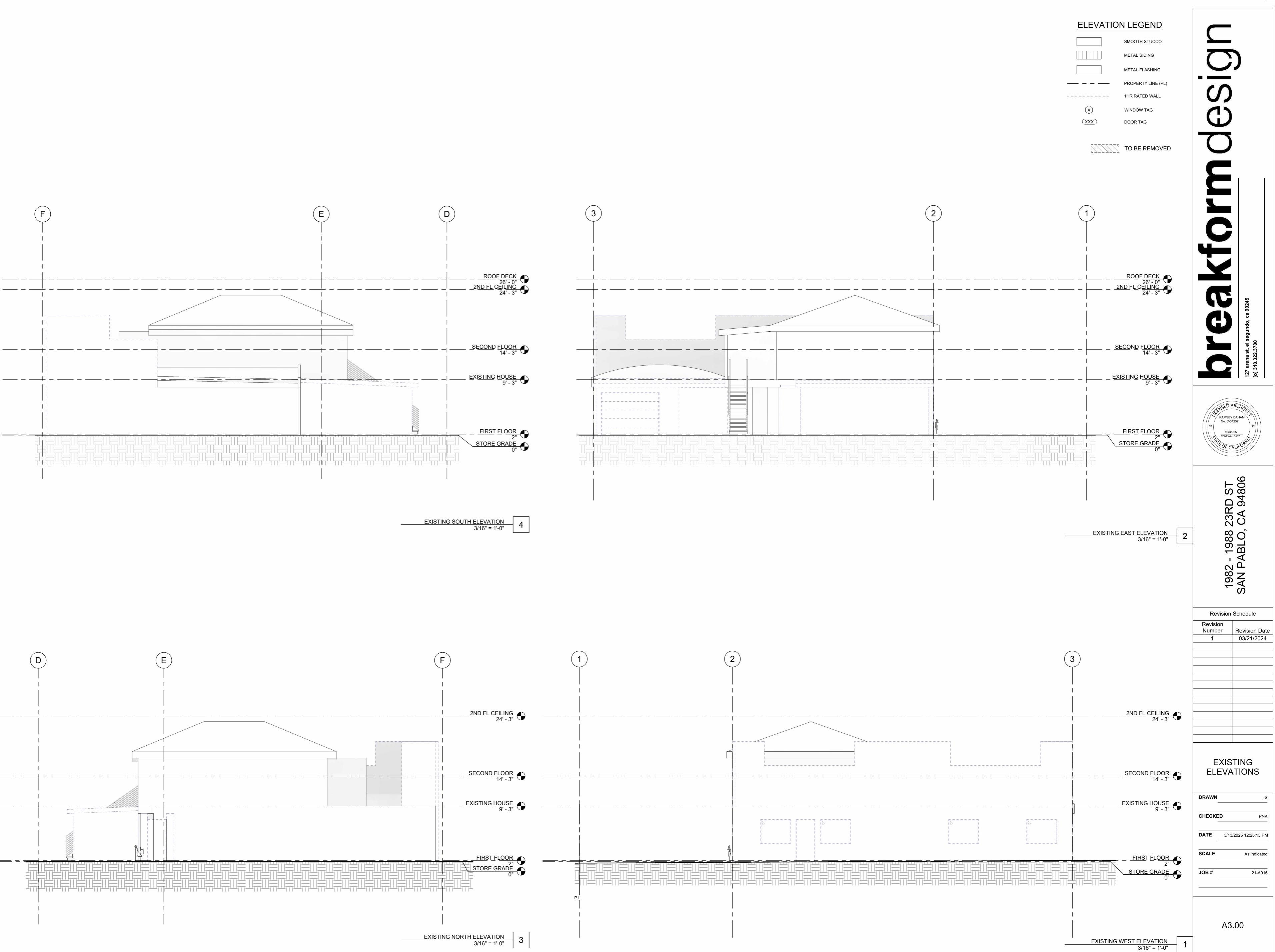
(10) 2-HK EXTERIOR WA ASSM. (10/A0.13)

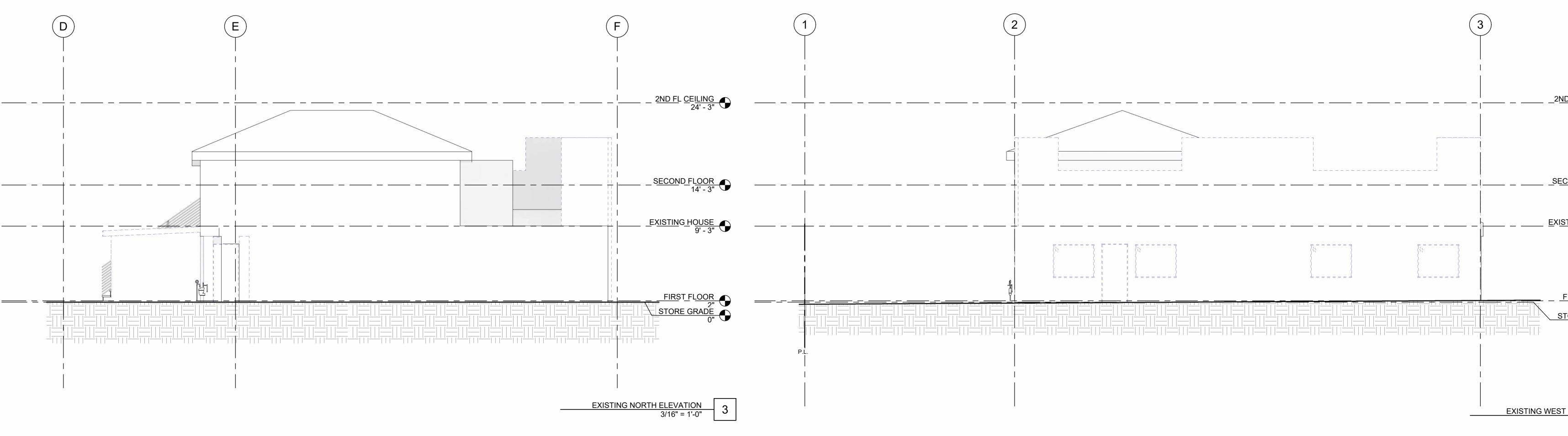
FLOOR PLAN LEGEND

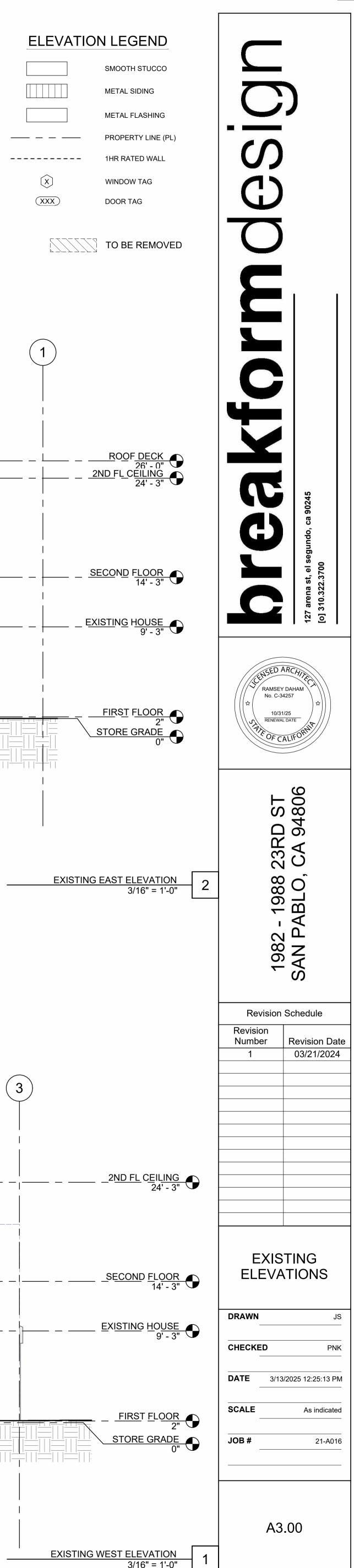
	MB	MASTER BEDROOM	PWR	PC
	BD	BEDROOM	CL	CL
	BA	BATHROOM	WIC	W
	LR	LIVING ROOM	LR	LA
AR, DUCTED	KI	KITCHEN	BC	BA
RMITTENT	DR	DINING ROOM	EN	E١
IPE		EXTERIOR WALL: 2-HF (SEE <u>WALL TYPES</u> FOI	•••••	
R		INTERIOR WALL: 2-HR (SEE <u>WALL TYPES</u> FOI		
		INTERIOR WALL: 1-HR (SEE <u>WALL TYPES</u> FOI		
		INTERIOR WALL: NO F (SEE <u>WALL TYPES</u> FOI		-

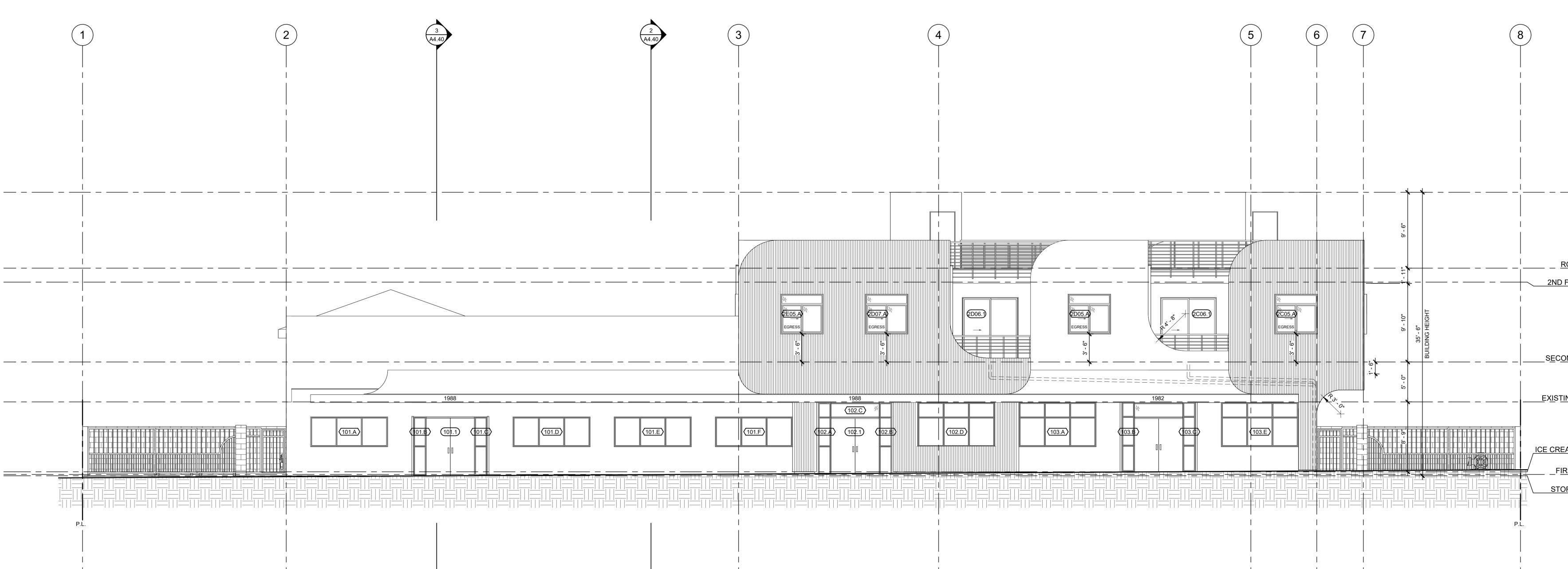
N

POWDER ROOM CLOSET WALK IN CLOSET LAUNDRY ROOM BALCONY ENTRY ATED FICS) TED FICS) MG FICS)	breakformdesign	127 arena st, el segundo, ca 90245 [o] 310.322.3700
	STREE STRES	4257
1 A3.60	1982 - 1988 23RD ST SAN PABLO, CA 94806	
	Revision Revision Number 1	Schedule Revision Date 03/21/2024
		OSED ANS
	DRAWN CHECKED DATE 3/13 SCALE JOB #	JS PNK /2025 12:25:03 PM As indicated 21-A016
ROOF DECK 3/16" = 1'-0" 1	A2	.30



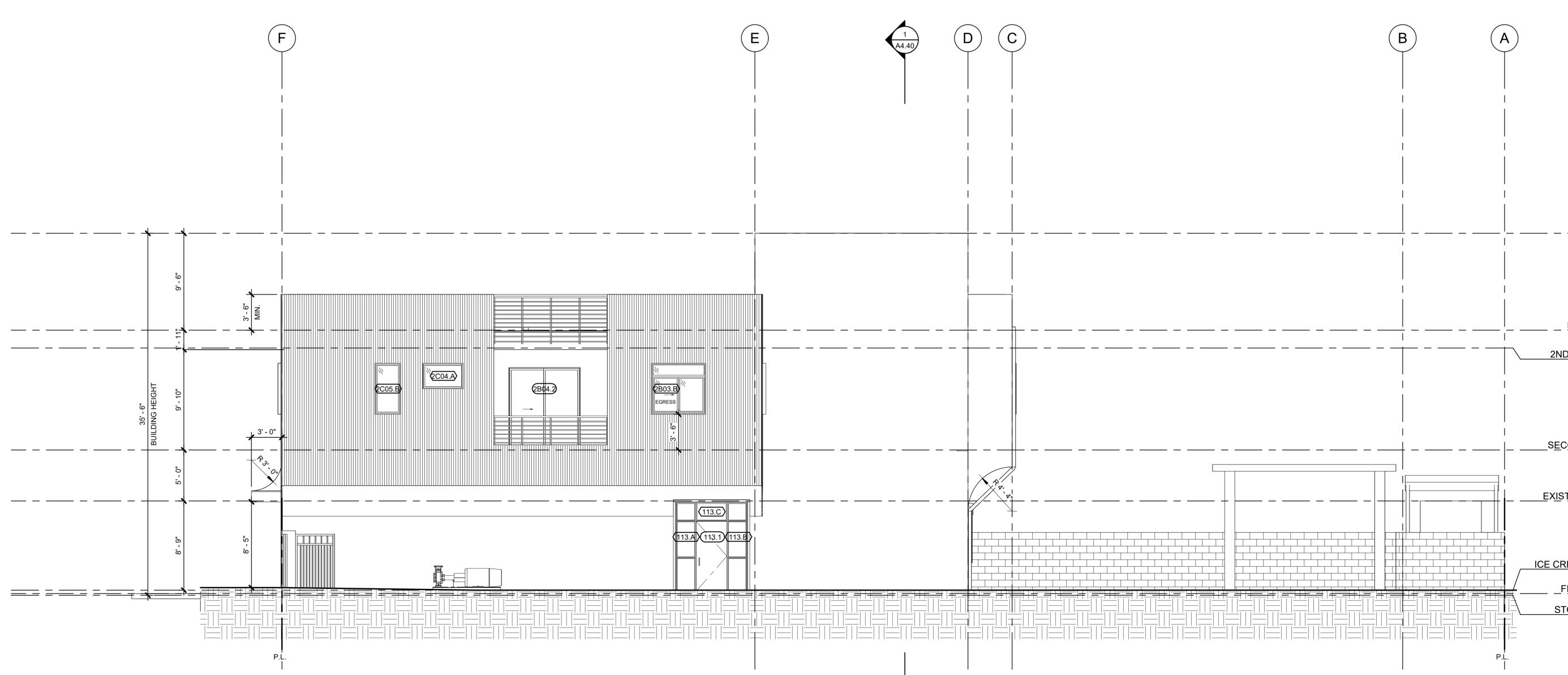






	ATION LEGEND SMOOTH STUCCO METAL SIDING METAL FLASHING PROPERTY LINE (PL) IHR RATED WALL WINDOW TAG DOOR TAG	breakform design 127 aren at, el segundo, ca 90245 [o] 310.322.3700
		CENSED ARCHITEC RAMSEY DAHAM No. C-34257 10/31/25 RENEWAL DATE FIL OF CALIFORNIA
		1982 - 1988 23RD ST SAN PABLO, CA 94806
	ROOF 35' - 6"	3 PROPOSED EXISTING
9'-10" 35'-6" BUILDING HEIGHT	<u>– ROOF DECK</u> 26' - 0" 2ND FL CEILING 24' - 3"	Revision Schedule Revision Revision Date 1 03/21/2024 1 03/21/2024
	SECOND FLOOR 14' - 3" EXISTING HOUSE 9' - 3"	ELEVATIONS
P.L.	ICE CREAM GRADE 6" - FIRST FLOOR 2" STORE GRADE 0"	DRAWN JS CHECKED PNK DATE 3/13/2025 12:25:16 PM SCALE As indicated JOB # 21-A016
		 A3.10

WEST ELEVATION 3/16" = 1'-0"



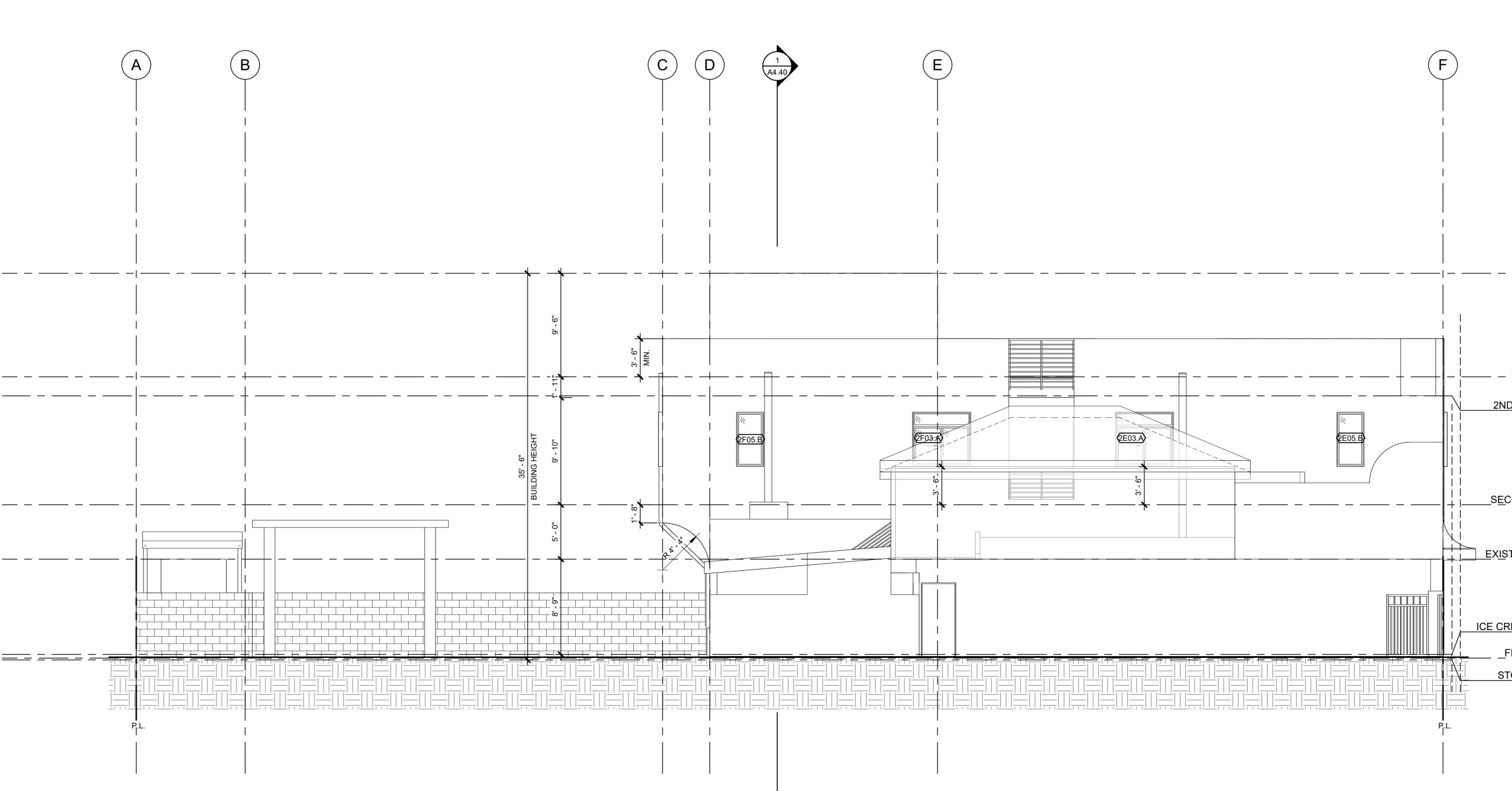
ELEVATION LEGEND MOOTH STUCCO ETAL SIDING ETAL FLASHING ROPERTY LINE (PL) S HR RATED WALL VINDOW TAG (\mathbf{C}) OOR TAG **B** 127 are [o] 310 CED ARCH RAMSEY DAHAM No. C-34257 10/31/25 RENEWAL DATE OF CALIF 1982 - 1988 23RD ST SAN PABLO, CA 94806 **Revision Schedule** ______R<u>OOF</u>______ 35' - 6" Revision Number Revision Date 03/21/2024 1 2ND FL CEILING 24' - 3" ____SECOND FLOOR 14' - 3" ELEVATIONS EXISTING HOUSE 9' - 3" DRAWN _____ ICE CREAM GRADE CHECKED PNK **DATE** 3/13/2025 12:25:18 PM SCALE As indicated JOB # 21-A016

	SMC
	MET
	MET
	PRC
	1HR
x	WIN
XXX	DOC

SOUTH ELEVATION 3/16" = 1'-0"

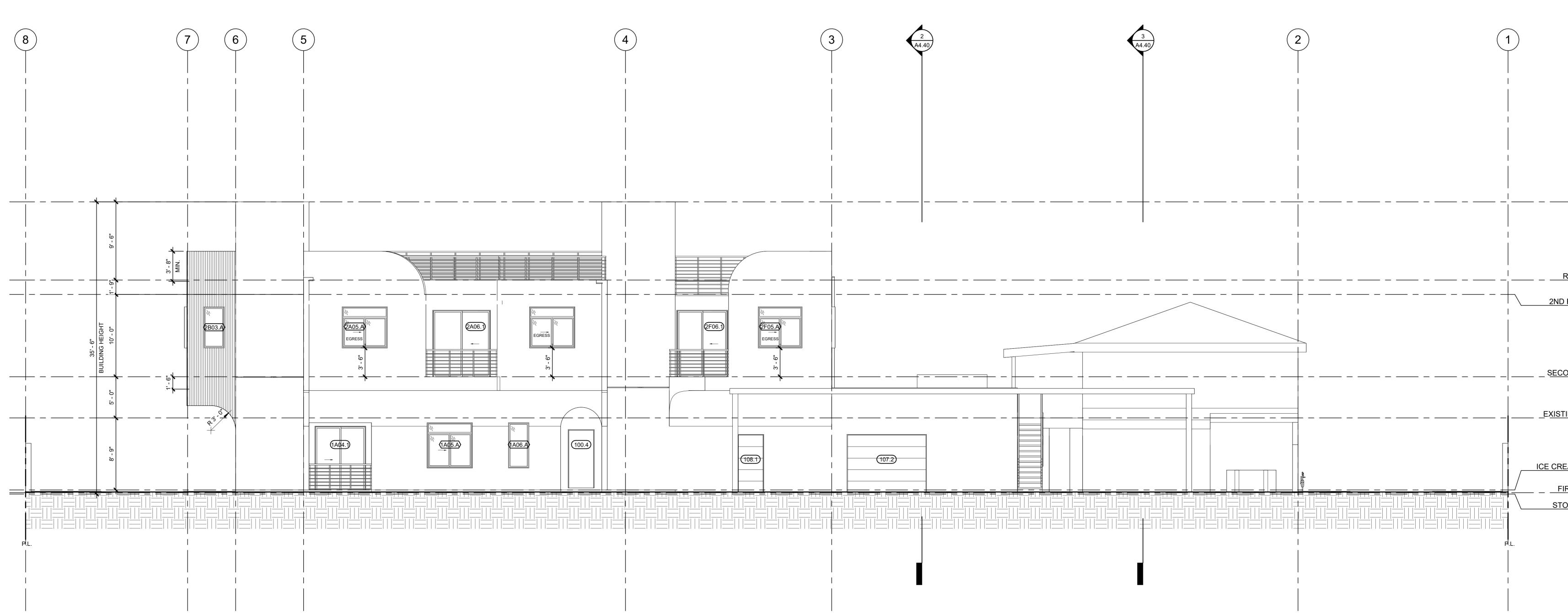
A3.20

_____ _____



ELEVATION LEGEND MOOTH STUCCO ETAL SIDING ETAL FLASHING ROPERTY LINE (PL) S HR RATED WALL WINDOW TAG (\mathbf{C}) OOR TAG G 127 are [o] 310 SED ARCH RAMSEY DAHAM No. C-34257 10/31/25 RENEWAL DATE E OF CALIF 1982 - 1988 23RD ST SAN PABLO, CA 94806 **Revision Schedule** Revision Number Revision Date 03/21/2024 1 ____ _ <u>ROOF DECK</u> 26' - 0" ① 2ND FL CEILING 24' - 3" SECOND FLOOR 14' - 3" ELEVATIONS EXISTING HOUSE 9' - 3" DRAWN _____ ICE CREAM GRADE 6" CHECKED PNK _____ FIRST FLOOR 2" STORE GRADE 0" **DATE** 3/13/2025 12:25:20 PM SCALE As indicated 21-A016 JOB # A3.30

	SMC
	MET
	MET
	PRC
	1HR
X	WIN
XXX	DOC



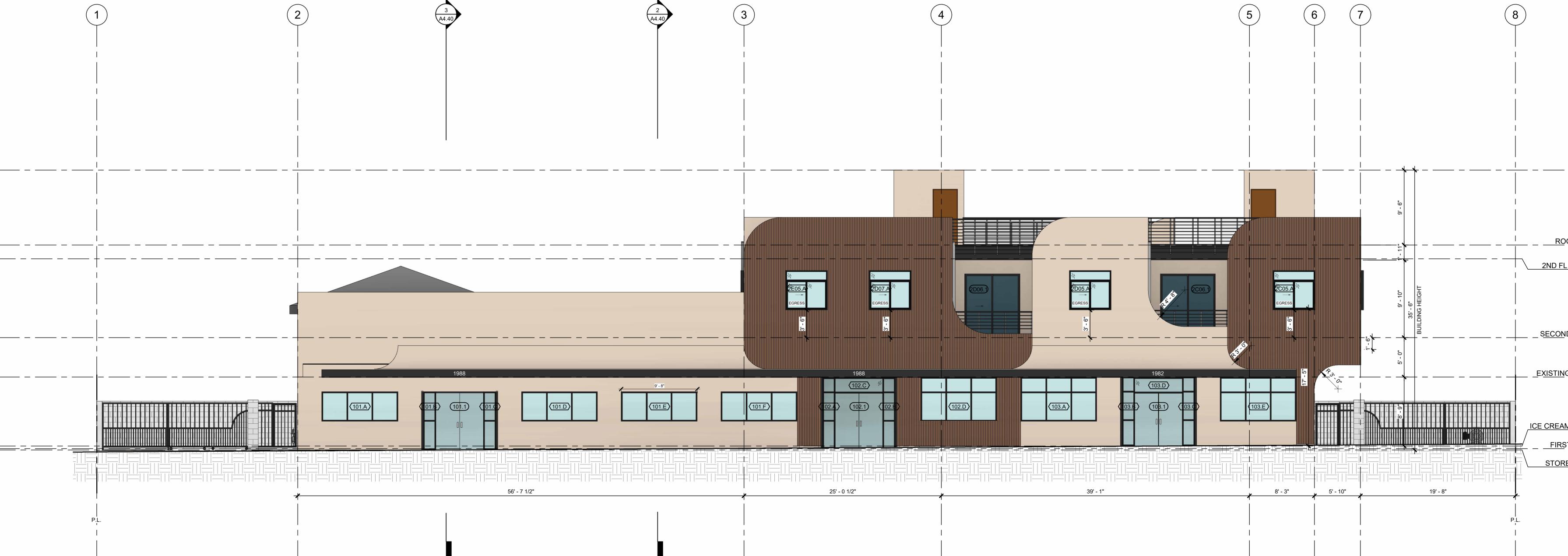
ELEVATION LEG

	SMOOTH
	METAL S
	METAL FI
	PROPER
	1HR RAT
×	WINDOW
(XXX)	DOOR TA

EGEND TH STUCCO L SIDING L FLASHING ERTY LINE (PL) ATED WALL OW TAG TAG	breakformdesign	127 arena st, el segundo, ca 90245 [o] 310.322.3700
	Street S	4257)☆ /25
	1982 - 1988 23RD ST	SAN PABLO, CA 94806
— — ROOF 35' - 6"	Revision Revision Number 1	Schedule Revision Date 03/21/2024
ROOF <u>DECK</u> 26' - 0" D FL CEILING 24' - 3"		
COND_FLOOR 14' - 3" <u>TING_HOUSE</u> 9' - 3"	ELEVA	TIONS
EAM GRADE 6" ORE GRADE 0"	DRAWN CHECKED DATE 3/13 SCALE JOB #	JS PNK /2025 12:25:22 PM As indicated 21-A016
	A3	.40

EAST ELEVATION 3/16" = 1'-0"





(1) SMOOTH STUCCO (2) METAL SIDING (3) ALUMINUM FLASHING PROPERTY LINE (PL) S 1HR RATED WALL \mathbb{C} WINDOW TAG \mathbf{T} See See CED ARCI RAMSEY DAHAN No. C-34257 10/31/25 RENEWAL DATE OF CALL 1982 - 1988 23RD ST SAN PABLO, CA 94806 $\frac{|}{|} - - - \frac{\text{ROOF}}{35' - 6''} \bigcirc$ PROPOSED EXISTING **Revision Schedule** Revision Number 2ND FL CEILING 24' - 3" Revision Date 03/21/2024 1 SECOND FLOOR 14' - 3" ELEVATIONS COLOR EXISTING HOUSE 9' - 3" DRAWN / ICE CREAM GRADE 6" CHECKED FIRST_FLOOR 2" **DATE** 3/13/2025 12:25:47 PM SCALE As indicated JOB # 21-A016

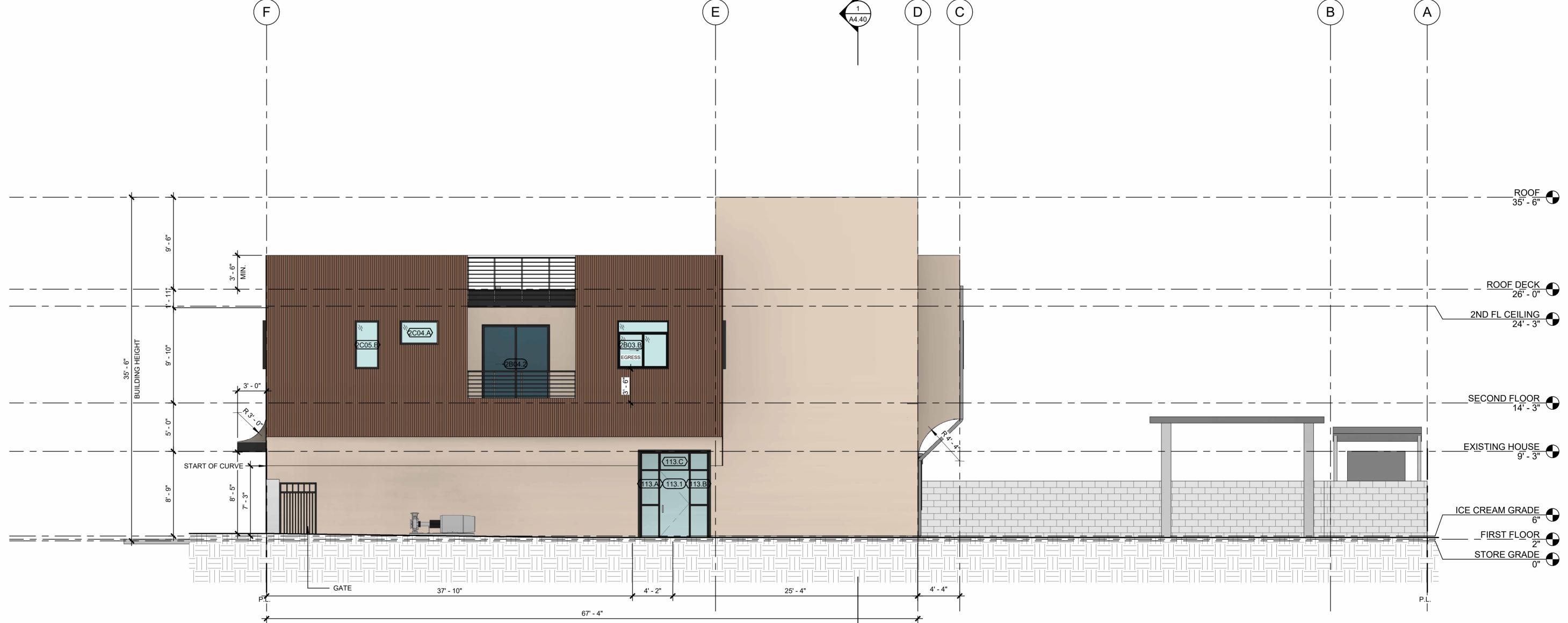
WEST ELEVATION COLOR 3/16" = 1'-0"

A3.50

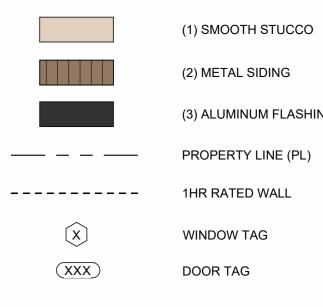
PNK



- MANUFACTURER: OMEGA





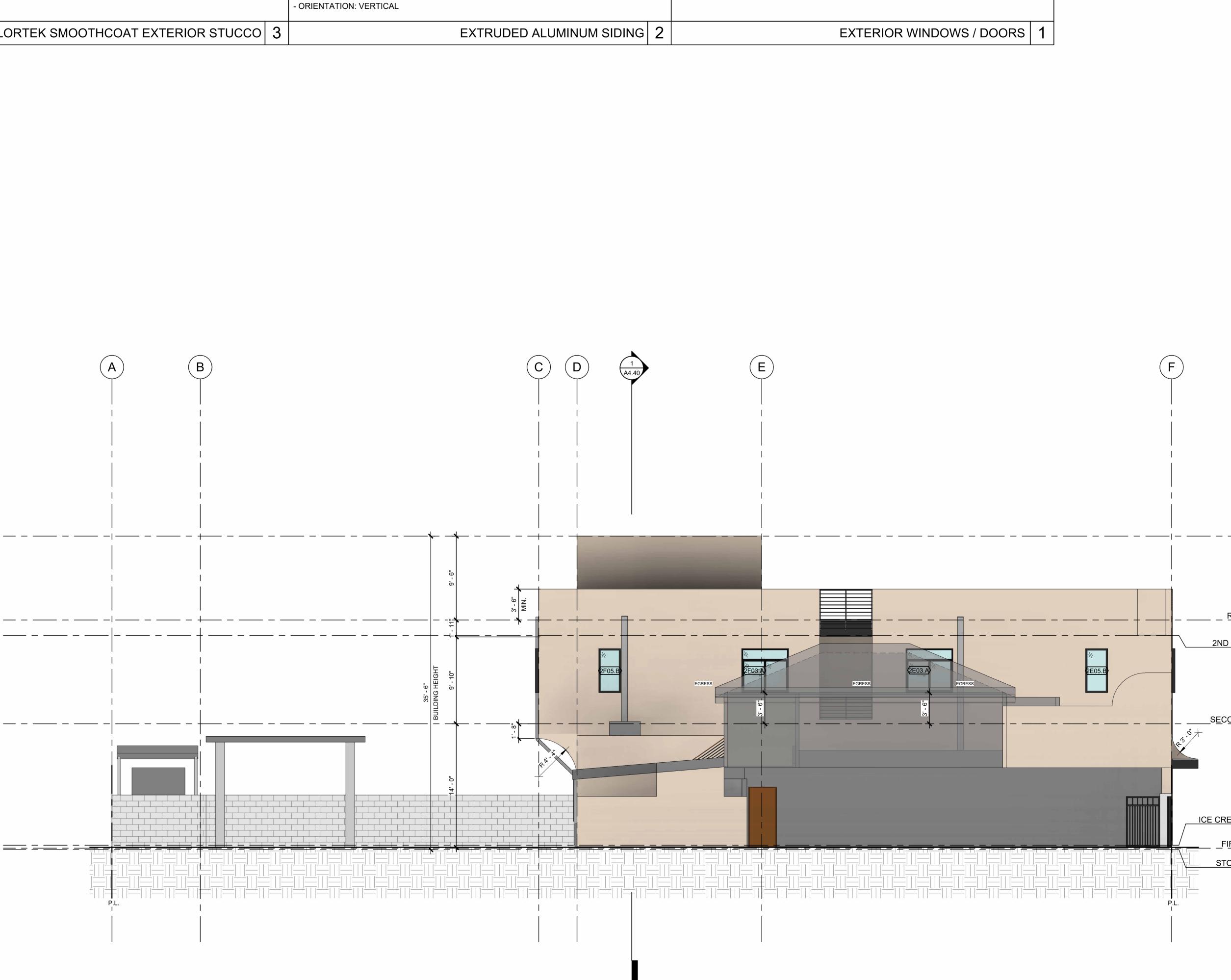


SOUTH ELEVATION COLOR 3/16" = 1'-0"

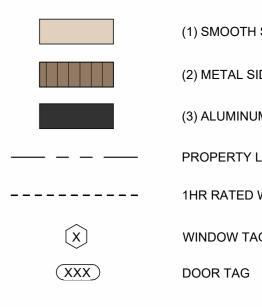
- (3) ALUMINUM FLASHING
- PROPERTY LINE (PL)
- S ()T (C) 127 a [o] 3⁻ CED ARCI RAMSEY DAHAM No. C-34257 10/31/25 RENEWAL DATE OFCAL 1982 - 1988 23RD ST SAN PABLO, CA 94806 **Revision Schedule** Revision Number Revision Date 03/21/2024 1 ELEVATIONS COLOR DRAWN _____ CHECKED PNK **DATE** 3/13/2025 12:26:07 PM SCALE As indicated JOB # 21-A016 A3.60
- _ <u>ROOF DECK</u> 26' 0" 2ND FL CEILING 24' - 3"
- SECOND FLOOR 14' 3"
- EXISTING HOUSE 9' 3"
- ICE CREAM GRADE 6" _____FIRST_FLOOR_____2" ① 2" ① STORE GRADE______0" ①



- MANUFACTURER: OMEGA







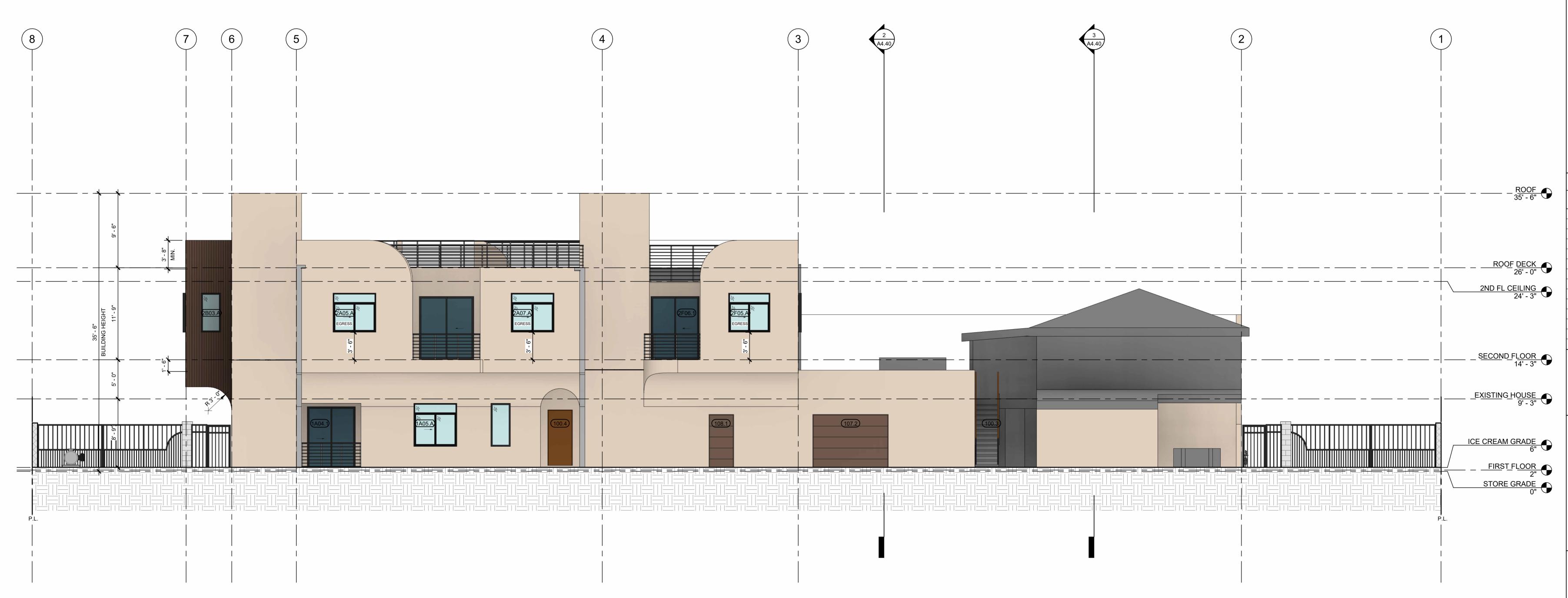
(1) SMOOTH STUCCO (2) METAL SIDING (3) ALUMINUM FLASHING PROPERTY LINE (PL) S 1HR RATED WALL ()WINDOW TAG T **G** 127 a [o] 31 CED ARCL RAMSEY DAHAM No. C-34257 10/31/25 RENEWAL DATE OF CALL 1982 - 1988 23RD ST SAN PABLO, CA 94806 **Revision Schedule** Revision Number Revision Date 03/21/2024 1 _ <u>ROOF DECK</u> 26' - 0" 2ND FL CEILING 24' - 3" SECOND FLOOR 14' - 3" ELEVATIONS COLOR DRAWN _____ ICE CREAM GRADE 6" CHECKED PNK FIRST FLOOR 2" STORE GRADE 0" **DATE** 3/13/2025 12:26:34 PM SCALE As indicated JOB # 21-A016

NORTH ELEVATION 3/16" = 1'-0"

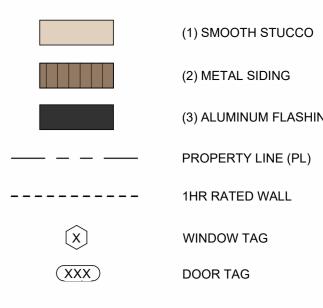
A3.70



- MANUFACTURER: OMEGA







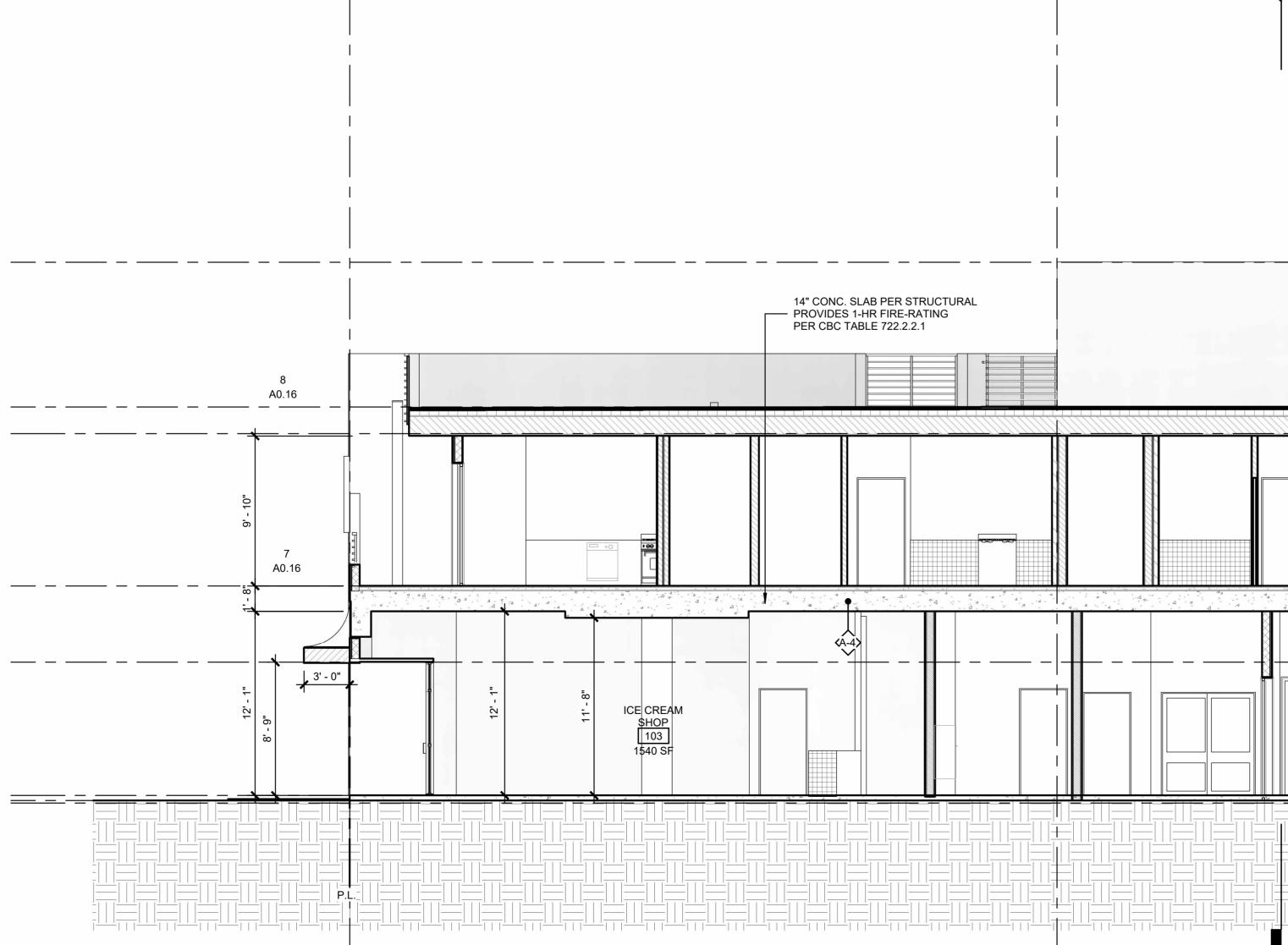
ELEV	A٦	ΓΙΟΝ
3/16"	=	1'-0"

Revision Schedule Revision Number **Revision** Date 03/21/2024 1 ELEVATIONS COLOR DRAWN CHECKED PNK **DATE** 3/13/2025 12:26:56 PM SCALE As indicated JOB # 21-A016 A3.80

(3) ALUMINUM FLASHING

S ()C (C) 127 a [o] 3⁻ CED ARCI RAMSEY DAHAN No. C-34257 10/31/25 RENEWAL DATE 1982 - 1988 23RD ST SAN PABLO, CA 94806

_____ _____ _ _ _ _ _ _ _ _ ___ _ ____



E

ASSEMBLY TYPES

WALLS	3	FLOOR	<u>85</u>
<u></u>	x4 & 2x6 INTERIOR VALL ASSM. (1/A0.13)	A-3	CONC FLOOR PER STRC. W/ POLISI CONC. FINISH (11/A0.13)
~ -	x6 PLUMBING WALL SSM. (2/A0.13)	(A-4)	CONC FLOOR PER STRC. W/ WOOD FINISH (12/A0.13)
~ .	-HR 2x6 INTERIOR WALL SSM. (3/A0.13)	A-5	CONC FLOOR PER STRC. W/ TILE FINISH (13/A0.13)
<u>\'/</u> '	-HR 2x6 EXTERIOR WALL SSM. (4/A0.13)	B-1	WOOD JOIST PER STRC. W/ WOOD FINISH (14/A0.13)
<u> </u>	-HR DOUBLE WALL ASSM. 5/A0.13)	B-2	WOOD JOIST PER STRC. W/ TILE FINISH (15/A0.13)
	CONC. WALL PER STRC. 6/A0.13)	R-1	WOOD JOIST W/ WOOD DECK PER SPEC. (16/A0.13)
\sim	CONC. RETAINING WALL PER STRC. (7/A0.13)	R-2	WOOD JOIST PER STRC. W/ COOL ROOFING PER SPEC. (1/A0.13.1)
~ ~	CMU WALL PER STRC. (8/A0.13)	R-3	WOOD JOIST PER STRC. W/ COOL ROOF PER SPEC. (2/A0.13.1)
	-HR INTERIOR CORRIDOR VALL ASSM. (9/A0.13)	R-4	WOOD JOIST PER STRC. W/ COOL ROOF PER SPEC. (3/A0.13.1)
~~ -	-HR EXTERIOR WALL SSM. (10/A0.13)		

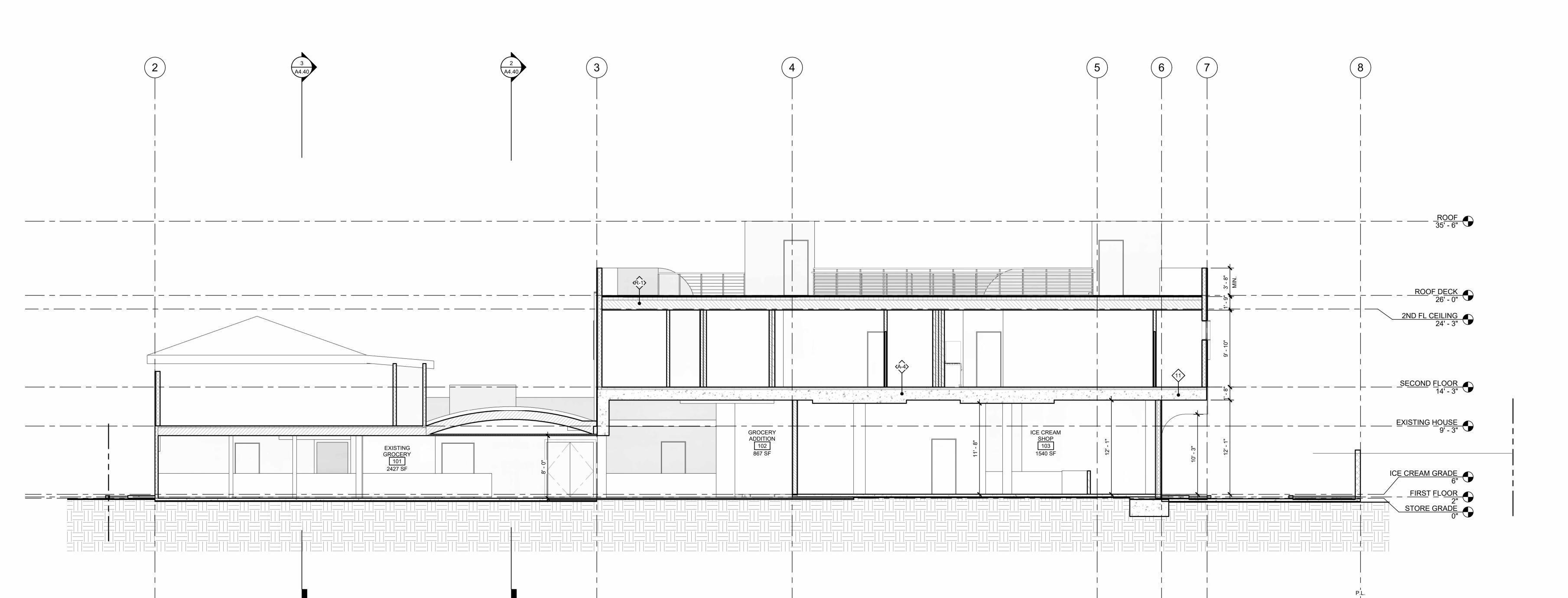
SECTION LEGEND

	1 HR
	2 HR
<u></u>	ELEVATION MARKER
	PROPERTY LINE
	EXISTING GRADE

1 A4.40				E	3	A
	6 10 - 00.	11- 9"	 			
	35' -		 			S <u>ECOND F</u>
	12' - 1"	,				ICE CREAM G
						P.L.

V/ POLISHED V/ WOOD V/ TILE // WOOD // TILE CK PER // COOL 13.1) // COOL 1) // COOL 1)	break ktorm design 127 arena st, el segundo, ca 90245 [o] 310.322.3700
	RAMSEY DAHAM No. C-34257
	1982 - 1988 23RD ST SAN PABLO, CA 94806
<u>ROOF</u> 35' - 6"	Revision ScheduleRevision NumberRevision Date103/21/2024
<u>ROOF DECK</u> 26' - 0" <u>ND FL CEILING</u> 24' - 3"	
ECOND FLOOR 14' - 3" ① ISTING HOUSE 9' - 3" ①	PROPOSED SECTIONS
CREAM GRADE 6" FIRST FLOOR 2" STORE GRADE 0"	DRAWN JS CHECKED PNK DATE 3/13/2025 12:27:12 PM SCALE As indicated JOB # 21-A016
SECTION 1 3/16" = 1'-0"	A4.10

SECTION 1 3/16" = 1'-0" 1



ASSEMBLY TYPES

WAL	LS	<u>FLOO</u>	<u>RS</u>
$\langle 1 \rangle$	2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.13)	(A-3)	CONC FLOOR PER STRC. W/ PO CONC. FINISH (11/A0.13)
2	2x6 PLUMBING WALL ASSM. (2/A0.13)	A-4	CONC FLOOR PER STRC. W/ WC FINISH (12/A0.13)
3	1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13)	A-5	CONC FLOOR PER STRC. W/ TIL FINISH (13/A0.13)
4>	1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13)	(B-1)	WOOD JOIST PER STRC. W/ WO FINISH (14/A0.13)
5	1-HR DOUBLE WALL ASSM. (5/A0.13)	B-2	WOOD JOIST PER STRC. W/ TILE FINISH (15/A0.13)
6	CONC. WALL PER STRC. (6/A0.13)	R-1	WOOD JOIST W/ WOOD DECK PI SPEC. (16/A0.13)
	CONC. RETAINING WALL PER STRC. (7/A0.13)	R-2	WOOD JOIST PER STRC. W/ COO ROOFING PER SPEC. (1/A0.13.1)
8	CMU WALL PER STRC. (8/A0.13)	R-3	WOOD JOIST PER STRC. W/ COO ROOF PER SPEC. (2/A0.13.1)
9	2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13)	R-4	WOOD JOIST PER STRC. W/ COO ROOF PER SPEC. (3/A0.13.1)
10>	2-HR EXTERIOR WALL ASSM. (10/A0.13)		

SECTION LEGEND

	1 HR
	2 HR
• <u>X'-X"</u>	ELEVATION MARKER
	PROPERTY LINE
	EXISTING GRADE

POLISHED WOOD TILE WOOD TILE K PER COOL 3.1) COOL

breakform design	127 arena st, el segundo, ca 90245 [o] 310.322.3700
CENSED A RAMSEY No. C-34 10/31 RENEWAL	4257)☆ /25)☆
1982 - 1988 23RD ST	PABLO, CA 94
Revision Revision Number 1	Schedule Revision Date 03/21/2024
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DRAWN	JS
CHECKED	PNK
DATE 3/13	/2025 12:27:27 PM As indicated
JOB #	21-A016
A4	.20

PLANTING NOTES

1. QUANTITIES GIVEN FOR PLANT MATERIALS SPECIFIED FOR "ON CENTER" SPACING ARE SHOWN FOR CONVENIENCE ONLY AND ARE 14. ALL PLANTING AREAS SHALL BE LOOSENED TO A DEPTH OF 8". APPLY 4 C.Y. OF ORGANIC AMENDMENT AND 15 LBS. SUBORDINATE TO THE SPACING GIVEN. VERIFY AND SUPPLY SUFFICIENT NUMBER OF PLANTS TO FULFILL SPACING REQUIREMENTS.

2. ALL HEADER AND BAMBOO ROOT BARRIERS SHALL BE LOCATED BY THE ARCHITECT ON SITE. 3. CONTRACTOR SHALL INSTALL PLANT MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS, DRAWINGS AND DETAILS.

4. CONTRACTOR SHALL PROVIDE A MAINTENANCE PERIOD OF NOT LESS THAN 90 DAYS COMMENCING AT THE DATE OF FINAL ACCEPTANCE. SUCH MAINTENANCE SHALL INCLUDE ALL CARE PERTAINING TO ALL WORK INSTALLED AS PART OF THESE CONTRACT DOCUMENTS.

5. THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK.

6. THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES LISTED FOR CONVENIENCE OF CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITIES DESIGNATED. 7. REMOVE ALL DEBRIS, WEEDS, EXCESS MATERIAL AND ROCKS LARGER THAN 1" IN DIAMETER FROM PLANTING AREAS PRIOR TO

PREPARATION & AGAIN PRIOR TO PLANTING. 8. SEE DETAILS AND SPECIFICATIONS FOR STAKING METHOD, PLANT PIT DIMENSIONS, SOIL PREPARATION, AND BACKFILL REQUIREMENTS.

9. ALL PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

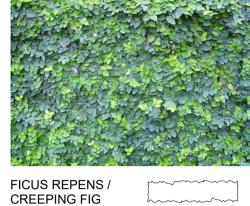
10. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.

11. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES. 12. GROUNDCOVER PLANTING SHALL BE CONTINUOUS UNDER ALL TREES AND SHRUBS. GROUNDCOVER SHALL BE PLANTED

13. TREES SHALL BE LOCATED A MINIMUM OF 5' FROM WALLS, OVERHEADS, WALKS, HEADERS, AND OTHER TREES WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTORS LIEABILITY TO RELOCATE THE MATERIALS.



ACCORDING TO SPACING ON PLANT LEGEND.







CHONDROPETALUM TECTORUM / CAPE RUSH

	NG LEG	SEND						
SYMBOL	QTY.	SIZE	SPREAD	BOTANICAL NAME / COMMON NAME	NATIVE	WUCOLS WATER USE TYPES	WATER USE VALUES	HYDRO ZONE
	46	10'- 15'	3'- 6'	FICUS REPENS / CREEPING FIG	NO	MODERATE	0.5	2
E S	146	2'- 3'	3'- 4'	CHONDROPETALUM TECTORUM / CAPE RUSH	NO	LOW	0.5	1
\bigcirc	6	25'- 30'	6'- 15'	LAGERSTROMIA TUSCARORA / CRAPE MYRTLE	NO	LOW	0.3	1

LANDSCAPE		HARDSCAPE	
TURF AREA	0 SF	IMPERVIOUS	10,508 SF
PLANT AREA	1,322 SF	PERVIOUS/ PERMEABLE	0 SF
TOTAL	1,322 SF	TOTAL	10,508 SF

NOTE: ALL IMPERVIOUS AND PERVIOUS/ PERMEABLE CONCRETE TO BE UNCOLORED CONCRETE (U.C.) WITH SMOOTH FINISH.

SITE SOIL - 6 PARTS BY VOLUME ORGANIC AMENDMENT - 4 PARTS BY VOLUME SOIL CONDITIONER / FERTILIZER 10-10-1LB. PER C.Y. OF MIX IRON SULFATE - 2 LBS. PER C.Y.OF MIX

16. TURF IS NOT ALLOWED ON SLOPES GREATER THAN 25% WHERE THE TOE OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE HARDSCAPE ..

17. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

18. A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVER, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED. 19. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL. 20. I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE THAT COMPLYS WITH THE PERFORMANCE APPROACH.

SIGNED____

DATE_____

21. AT THE TIME OF FINAL INSPECTION THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

IRRIGATION NOTES

FUNCTIONAL AND EFFICIENT IRRIGATION SYSTEM PER THE CONTAINED CONDITIONS.

BE ON A SEPARATE VALVE.

OF 10-10-10 FERTILIZER PER 1000 S.F. AND BLEND WITH THE TOP 6" OF SOIL. THIS AMENDMENT IS FOR BIDDING PURPOSES, AND SHALL BE SUPERCEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.

15. FOR ALL TREES AND SHURB PLANTING, THE FOLLOWING PREPARED SOIL MIX SHALL BE USED FOR BACKFILL IN THE PLANTERS. THIS MIX IS FOR BIDDING PURPOSES, AND SHALL BE SUPERCEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.

1. CONTRACTOR IS TO AUGMENT EXISTING IRRIGATION SYSTEM. CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING LANDSCAPE AND IRRIGATION DAMAGED FROM CONSTRAUCTION TO AN ACCEPTABLE LANDSCAPE CONDITION WITH A FULLY

2. ALL NEW TREES REQUIRE INDIVIDUAL POP-UP STREAM BUBBLERS, MIN. 2 PER TREE, WITHIN 4' OF TREE. TREE IRRIGATION SHALL

3. SPRAY OR ROTOR HEADS SHALL BE ON POP-UPS: 6" FOR LAWN, LOW GROUNDCOVER OR PARKED CAR OVERHANG AREAS, 12" FOR SHRUB AREAS. HEADS ON RISERS ARE ONLY ALLOWED ADJACENT TO WALLS WITH LIMITED SPACE FOR POP-UPS.

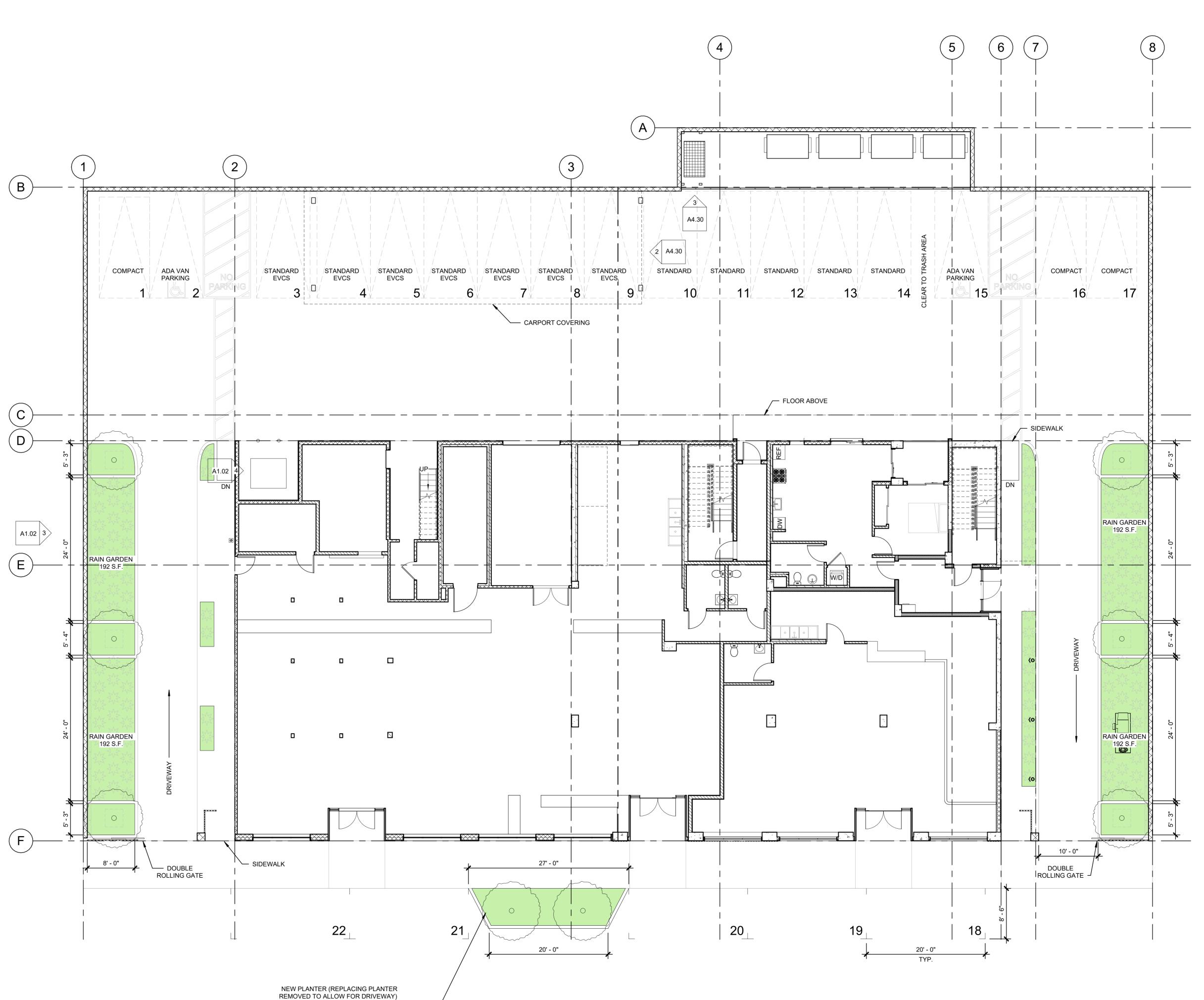
FROM PAVING. 5. CONTRACTOR SHALL REPLACE ANY EXISTING IRRIGATION CONTROLLER WITH A MODULE AND SENSOR TO PROVIDE WEATHER BASED INFORMATIONTHAT WILL AUTOMATE THE IRRIGATION RUNTIMES BASED ON WEATHER. SEE HUNTER SOLAR SYNC, RAINBIRD ET MANAGER OR EQUIVALENT.

6. THE PLANTING AND IRRIGATION SYSTEM SHALL BE COMPLETED BY THE DEVELOPER/BUILDER PRIOR TO THE CLOSE OF ESCROW OF 50 PERCENT OF THE UNITS OF THE PROJECT OR PHASE. 7. SIXTY DAYS AFTER TLANDSCAPE AND IRRIGATION INSTALLATION, THE LANDSCAPE PROFESSIONAL SHALL SUBMIT TO THE HOMEOWNERS/PROPERTY OWNERS ASSOCIATION A CERTIFICATE OF SUBSTANTIAL COMPLETION (12.40 G LAMC.) 8. THE DEVELOPER/BUILDER SHALL GUARANTEE ALL TRESS AND IRRIGATION FOR A PERIOD OF SIX MONTHS AND ALL OTHER PLANS FOR A PERIOD OF 60 DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION. 9. PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES. 10. CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.

STATEMENTS AND CERTIFICATION

1. I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS. 2. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

3. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE SIGNER OF THE LANDSCAPE PLANS, THE SIGNER OF THE IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT. 4. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.



LAGERSTROMIA TUSCARORA / CRAPE MYRTLE

4. LOCATE SPRAY HEADS 24" FROM NON-PERVIOUS PAVING TO PREVENT OVERSPRAY. EXCEPTION ALLOWED IF ADJACENT SURFACE IS PERMEABLE OR IF USING ALTERNATIVE TECHNOLOGY IRRIGATION. ROTATOR OR ROTARY HEADS MAYBE LOCATED 12"

EED ARCI RAMSEY DAHAN No. C-34257 10/31/25 RENEWAL DATE 1982 - 1988 23RD ST SAN PABLO, CA 94806 **Revision Schedule** Revision Number **Revision Date** 03/21/2024 LANDSCAPE PLAN DRAWN CHECKED PNK DATE 3/13/2025 12:27:31 PM SCALE As indicated JOB # 21-A016 L1.10