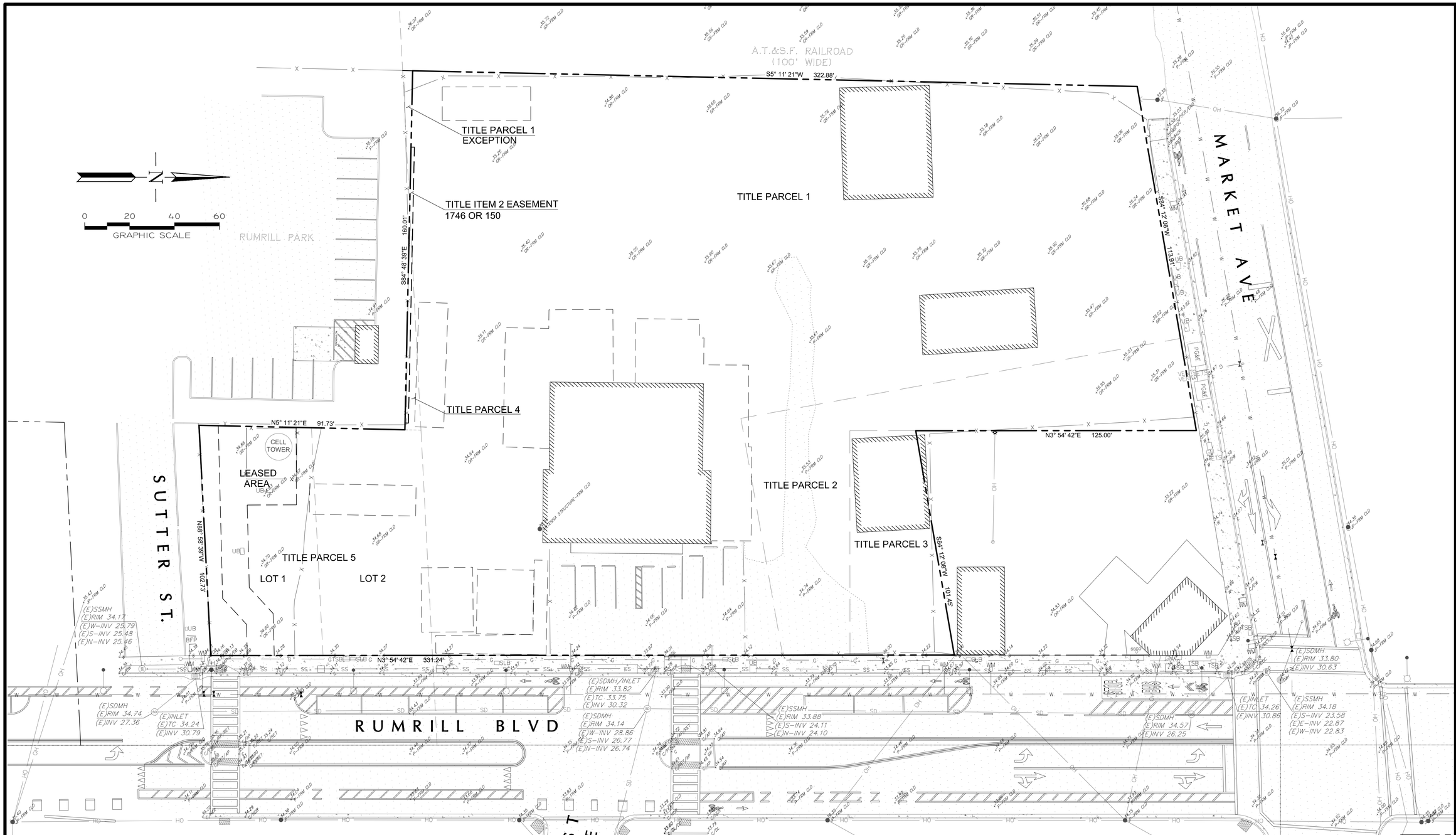


TOPOGRAPHIC SURVEY ABBREVIATIONS:

BFP	BACKFLOW PREVENTER	(E)/EX	EXISTING	N	NORTH	SSCO	SANITARY SEWER CLEANOUT
C	CONCRETE	FF	FINISH FLOOR	OH	OVERHEAD WIRES	SSMH	SANITARY SEWER MANHOLE
DI	DROP INLET	FL	FLOW LINE DITCH	P	PAVEMENT	TC	TOP OF CURB
DIA	DIAMETER	FS	FIRE SERVICE	S	SOUTH OR SIGN	TEL	TELEPHONE
DW	DOMESTIC WATER SERVICE	GB	GRADE BREAK	SD	STORM DRAIN	TOC	TOP OF CONCRETE
E	EAST	GR/GR.	GROUND/GRATE	SDMH	STORM DRAIN MANHOLE	UB	UTILITY BOX
EX.	EXISTING	GUY	GUY ANCHOR	SFL	SWALE FLOWLINE	W	WATER OR WEST
ELEC	ELECTRIC	INV	INVERT	SIG	TRAFFIC SIGNAL	WM	WATER METER
ELEV	ELEVATION	IRR	IRRIGATION	SL	STREET LIGHT	WV	WATER VALVE
EP	EDGE OF PAVEMENT	MH	MANHOLE	SS	SANITARY SEWER	JP	JOINT POLE

TOPOGRAPHIC SURVEY LEGEND:

	EXISTING		EXISTING		EXISTING		EXISTING
BOUNDARY LINE		DRAINAGE INLET		VERTICAL CURB		CONCRETE SURFACE	
PARCEL LINE		CLEANOUT		CURB AND GUTTER		ASPHALT SURFACE	
EASEMENT LINE		MANHOLE		SPOT ELEVATION	× 34.50	EXISTING BUILDING	
WATER LINE	—W—	WATER VALVE		FLOW LINE ELEVATION	× 34.50 FL	COVERED STRUCTURE	
FIRE SERVICE	—FS—	FIRE HYDRANT		CONCRETE ELEVATION	× 34.50 C		
DOMESTIC WATER SERVICE	—W—	BACKFLOW PREVENTION DEVICE		PAVEMENT GRADE ELEVATION	× 34.50 P		
SANITARY SEWER LINE	—SS—	TRAFFIC SIGN		TOP OF CURB ELEVATION	× 34.50 TC		
STORM DRAIN PIPE	—SD—	UTILITY BOX AS NOTED		GROUND ELEVATION	× 34.50 GR		

DATED: 6-30-2025

C&P
LAND PLANNING
A DIVISION OF CUNHA SURVEYING, INC.
701 BELMONT WAY, SUITE A
PINOLE, CA 94564
PHONE: 510-334-6660
CP@CPLANDPLAN.COM

REGISTERED PROFESSIONAL ENGINEER
VINCENT H. CUNHA
36321
CIVIL
STATE OF CALIFORNIA

DRAFT

DATED:

DATE	DESCRIPTION	REVISION	BY

DESIGNED BY: RBJr
DRAWN BY: RBJr
CHECKED BY: V.H.C.
SCALE: 1" = 20'

EXISTING SITE CONDITIONS
1660 RUMRILL BLVD

SAN PABLO CALIFORNIA

SHEET NUMBER
C1
OF 3 SHEETS

DRAWING NO.
25025

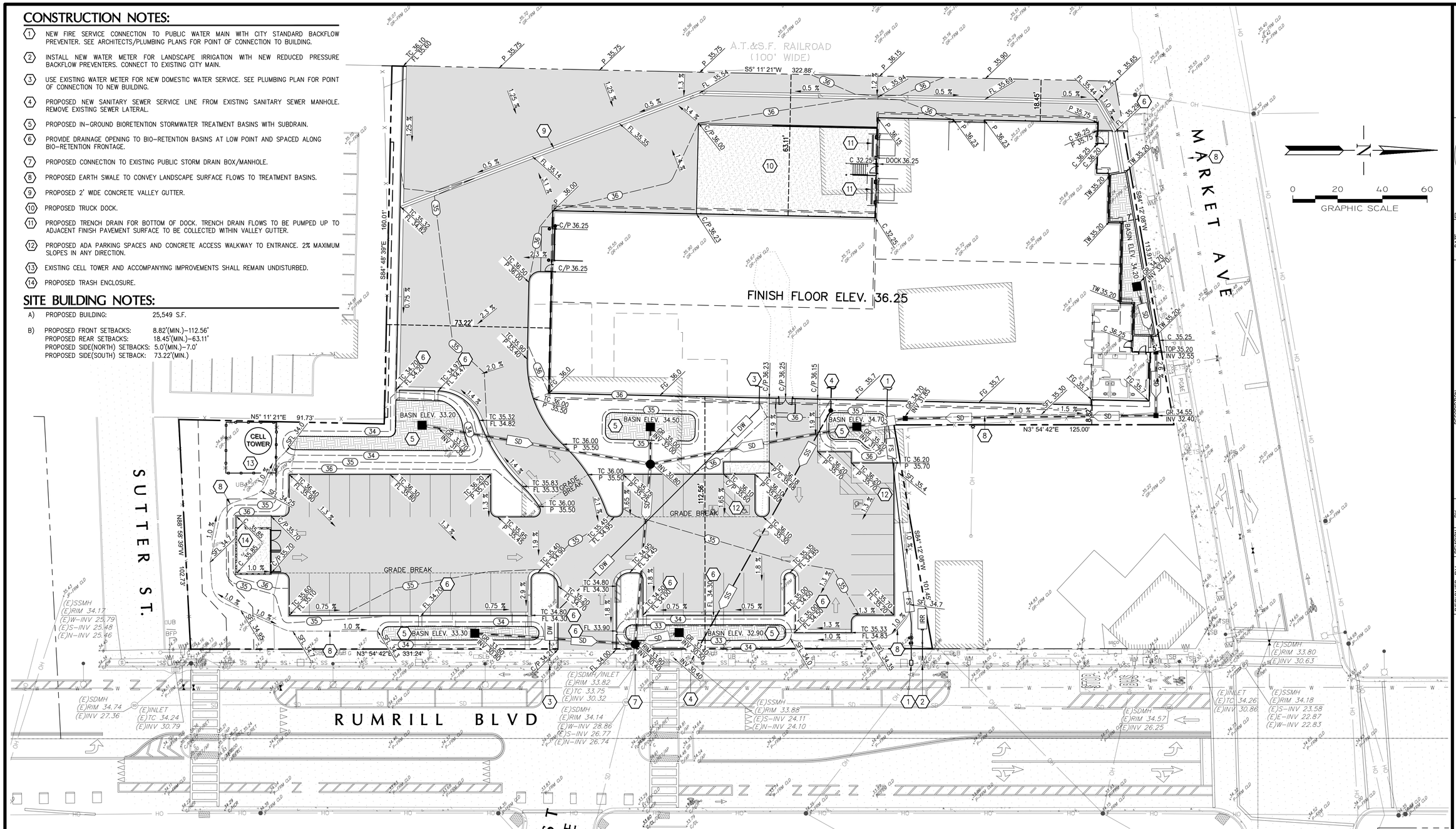
CONSTRUCTION NOTES:

1. NEW FIRE SERVICE CONNECTION TO PUBLIC WATER MAIN WITH CITY STANDARD BACKFLOW PREVENTER. SEE ARCHITECTS/PLUMBING PLANS FOR POINT OF CONNECTION TO BUILDING.
2. INSTALL NEW WATER METER FOR LANDSCAPE IRRIGATION WITH NEW REDUCED PRESSURE BACKFLOW PREVENTERS. CONNECT TO EXISTING CITY MAIN.
3. USE EXISTING WATER METER FOR NEW DOMESTIC WATER SERVICE. SEE PLUMBING PLAN FOR POINT OF CONNECTION TO NEW BUILDING.
4. PROPOSED NEW SANITARY SEWER SERVICE LINE FROM EXISTING SANITARY SEWER MANHOLE. REMOVE EXISTING SEWER LATERAL.
5. PROPOSED IN-GROUND BIORETENTION STORMWATER TREATMENT BASINS WITH SUBDRAIN.
6. PROVIDE DRAINAGE OPENING TO BIO-RETENTION BASINS AT LOW POINT AND SPACED ALONG BIO-RETENTION FRONTAGE.
7. PROPOSED CONNECTION TO EXISTING PUBLIC STORM DRAIN BOX/MANHOLE.
8. PROPOSED EARTH SWALE TO CONVEY LANDSCAPE SURFACE FLOWS TO TREATMENT BASINS.
9. PROPOSED 2' WIDE CONCRETE VALLEY GUTTER.
10. PROPOSED TRUCK DOCK.
11. PROPOSED TRENCH DRAIN FOR BOTTOM OF DOCK. TRENCH DRAIN FLOWS TO BE PUMPED UP TO ADJACENT FINISH PAVEMENT SURFACE TO BE COLLECTED WITHIN VALLEY GUTTER.
12. PROPOSED ADA PARKING SPACES AND CONCRETE ACCESS WALKWAY TO ENTRANCE. 2% MAXIMUM SLOPES IN ANY DIRECTION.
13. EXISTING CELL TOWER AND ACCOMPANYING IMPROVEMENTS SHALL REMAIN UNDISTURBED.
14. PROPOSED TRASH ENCLOSURE.

SITE BUILDING NOTES:

A) PROPOSED BUILDING: 25,549 S.F.

B) PROPOSED FRONT SETBACKS: 8.82'(MIN.)–112.56'
PROPOSED REAR SETBACKS: 18.45'(MIN.)–63.11'
PROPOSED SIDE(NORTH) SETBACKS: 5.0'(MIN.)–7.0'
PROPOSED SIDE(SOUTH) SETBACK: 73.22'(MIN.)



GRADING & UTILITY ABBREVIATIONS:

BFP	BACKFLOW PREVENTER	(E)/EX	EXISTING	N	NORTH	SSCO	SANITARY SEWER CLEANOUT
C	CONCRETE	FF	FINISH FLOOR	OH	OVERHEAD WIRES	SSMH	SANITARY SEWER MANHOLE
DI	DROP INLET	FL	FLOW LINE DITCH	P	PAVEMENT	TC	TOP OF CURB
DIA	DIAMETER	FS	FIRE SERVICE	S	SOUTH OR SIGN	TEL	TELEPHONE
DW	DOMESTIC WATER SERVICE	GB	GRADE BREAK	SD	STORM DRAIN	TOC	TOP OF CONCRETE
E	EAST	GR/GR.	GROUND/GRATE	SDMH	STORM DRAIN MANHOLE	UB	UTILITY BOX
EX.	EXISTING	GUY	GUY ANCHOR	SFL	SWALE FLOWLINE	W	WATER OR WEST
ELEC	ELECTRIC	INV	INVERT	SIG	TRAFFIC SIGNAL	WM	WATER METER
ELEV	ELEVATION	IRR	IRRIGATION	SL	STREET LIGHT	WV	WATER VALVE
EP	EDGE OF PAVEMENT	MH	MANHOLE	SS	SANITARY SEWER	JP	JOINT POLE

GRADING & UTILITY LEGEND:

	PROPOSED	EXISTING
BOUNDARY LINE		
PARCEL LINE		
EASEMENT LINE		
WATER LINE	—W—	—W—
FIRE SERVICE	—FS—	
DOMESTIC WATER SERVICE	—DW—	
SANITARY SEWER LINE	—SS—	—SS—
STORM DRAIN PIPE		—SD—

	PROPOSED	EXISTING
DRAINAGE INLET	■	■
CLEANOUT	●	
MANHOLE	●	○
WATER VALVE	⋈	⋈
BLOW OFF		
FIRE HYDRANT		
BACKFLOW PREVENTION DEVICE	◀◀	
TRAFFIC SIGN		
UTILITY BOX AS NOTED		▭

	PROPOSED	EXISTING
VERTICAL CURB		
CURB AND GUTTER		
VALLEY GUTTER		
CONTOUR	—7—	
GRADE BREAK		
FLOW LINE SWALE		
SPOT ELEVATION		× 34.50
FLOW LINE ELEVATION	FL 34.50	× 34.50 FL
CONCRETE ELEVATION	C 34.50	× 34.50 C

	PROPOSED	EXISTING
PAVEMENT GRADE ELEVATION	P 34.50	× 34.50 P
TOP OF CURB ELEVATION	TC 34.50	× 34.50 TC
FINISH GRADE ELEVATION	FG 34.50	
CONCRETE SURFACE		
ASPHALT SURFACE		
DRAINAGE TREATMENT AREA		

DATED: 6-30-2025

C&P LAND PLANNING
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701 BELMONT WAY, SUITE A
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PHONE: 510-334-6560
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REGISTERED PROFESSIONAL ENGINEER VINCENT H. CUNHA 36321 CIVIL STATE OF CALIFORNIA

DRAFT

DATED:

DATE	DESCRIPTION	BY

DESIGNED BY: RBJr
DRAWN BY: RBJr
CHECKED BY: V.H.C.
SCALE: 1" = 20'

PRELIMINARY GRADING & UTILITY PLAN
1660 RUMRILL BLVD

SAN PABLO CALIFORNIA

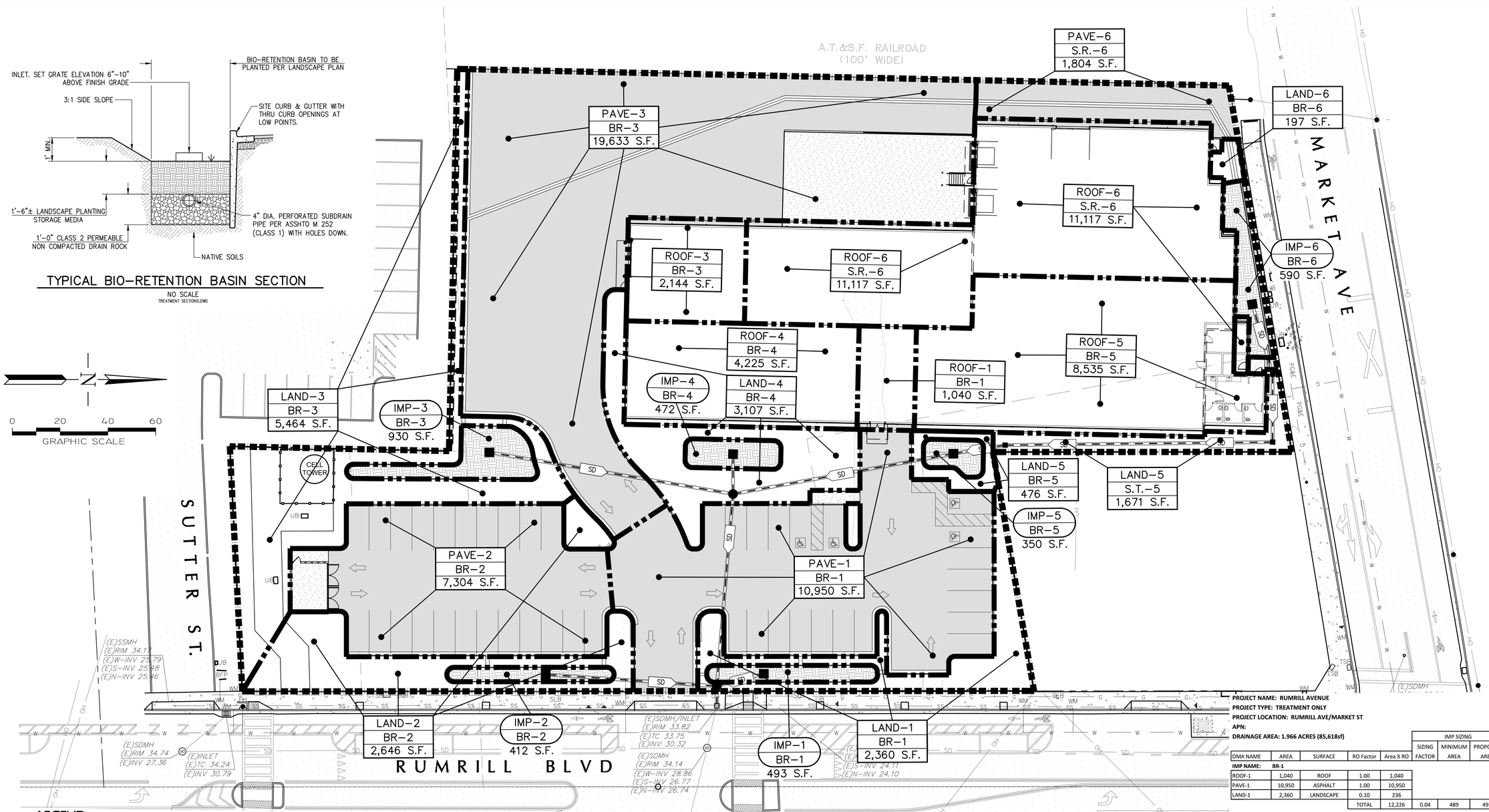
SHEET NUMBER C2 OF 3 SHEETS

DRAWING NO. 25025

TYPICAL BIO–RETENTION BASIN SECTION

NO SCALE

TREATMENT SECTIONS.DWG



PROJECT NAME: RUMRILL AVENUE
PROJECT TYPE: TREATMENT ONLY
PROJECT LOCATION: RUMRILL AVE/MARKET ST
APN:
DRAINAGE AREA: 1.966 ACRES (85,618sf)

DMA NAME	AREA	SURFACE	RO Factor	Area X RO	IMP SIZING: SIZING FACTOR	IMP SIZING: MINIMUM AREA	IMP SIZING: PROPOSED AREA
IMP NAME:	**BR-1**						
ROOF-1	1,040	ROOF	1.00	1,040			
PAVE-1	10,950	ASPHALT	1.00	10,950			
LAND-1	2,360	LANDSCAPE	0.10	236			
			TOTAL	12,226	0.04	489	493
IMP NAME:	**BR-2**						
PAVE-2	7,304	ASPHALT	1.00	7,304			
LAND-2	2,646	LANDSCAPE	0.10	265			
			TOTAL	7,569	0.04	303	412
IMP NAME:	**BR-3**						
ROOF-3	2,144	ROOF	1.00	2,144			
PAVE-3	19,633	ASPHALT	1.00	19,633			
LAND-3	5,464	LANDSCAPE	0.10	546			
			TOTAL	22,323	0.04	893	930
IMP NAME:	**BR-4**						
ROOF-4	4,225	ROOF	1.00	4,225			
LAND-4	3,107	LANDSCAPE	0.10	311			
			TOTAL	4,536	0.04	181	472
IMP NAME:	**BR-5 (LAND-S.T.)**						
ROOF-5	8,535	ROOF	1.00	8,535			
LAND-5	2,147	LANDSCAPE	0.10	215			
			TOTAL	8,750	0.04	350	350
IMP NAME:	**BR-6**						
ROOF-6	11,117	ROOF	1.00	11,117			
PAVE-6	1,804	ASPHALT	1.00	1,804			
LAND-6	197	LANDSCAPE	0.10	20			
			TOTAL	12,941	4%	518	590

LEGEND:

	PROPOSED
LIMIT OF IMPROVEMENTS	
DRAINAGE AREA BOUNDARY	
BIO–RETENTION TREATMENT AREA	
DRAINAGE MANAGEMENT AREA (DMA) ID	PAVE 1
TREATMENT DEVICE ID: BIO–RETENTION (BR), SELF TREATED (ST)	BR–1 sq.ft.
INTEGRATED MANAGEMENT PRACTICE (IMP)	IMP
BIO–RETENTION (BR)	BR–1 sq.ft.

	PROPOSED	EXISTING
BOUNDARY LINE		
PARCEL LINE		
STORM DRAIN PIPE		SD
DRAINAGE INLET		
VERTICAL CURB		
CURB AND GUTTER		
VALLEY GUTTER		
CONTOUR	7	34
GRADE BREAK		
SPOT ELEVATION		× 34.50
FLOW LINE ELEVATION	FL 7.50	× 34.50 FL
FINISH GRADE ELEVATION	FG 7.50	
TOP OF CURB ELEVATION	TC 7.50	× 34.50 TC

DATED: 6–30–2025

C&P LAND PLANNING
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PHONE: 510-334-6660
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REGISTERED PROFESSIONAL ENGINEER VINCENT H. CUNHA 36321 CIVIL STATE OF CALIFORNIA

DRAFT

DATED:

DATE	DESCRIPTION	REVISION BY

DESIGNED BY: RBJr
DRAWN BY: RBJr
CHECKED BY: V.H.C.
SCALE: 1" = 20'

PRELIMINARY STORMWATER CONTROL PLAN
1660 RUMRILL BLVD
SAN PABLO CALIFORNIA

SHEET NUMBER C3 OF 3 SHEETS

DRAWING NO. 25025

A.T.&S.F. RAILROAD
(100' WIDE)

RUMRILL PARK

LOADING DOCK PAD

BUILDING

FINISH FLOOR ELEV. 36.25

MARKET AVENUE

STORMWATER BIORETENTION PLANTER

STORMWATER BIORETENTION PLANTER

STORMWATER BIORETENTION PLANTER

STORMWATER BIORETENTION PLANTER

STORMWATER BIORETENTION PLANTER

STORMWATER BIORETENTION PLANTER

CELL TOWER

TRASH

SCREEN PLANTING AROUND TRASH ENCLOSURE

SCREEN PLANTING ALONG PARKING STALLS (TYPICAL)

SCREEN PLANTING ALONG PARKING STALLS (TYPICAL)

PARCEL NOT A PART

EXISTING STREET TREES IN TREE WELLS (REDBUDS)

RUMRILL BLVD.

POST AVE.

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

REFER TO SHEET L2 FOR PLANT MATERIALS LIST, NOTES AND WELO ETWU/MAWA CALCULATIONS

REVISIONS

RW Stover & Associates, Inc.
Landscape Architecture
11420 North Main Street, Suite 4
Walnut Creek, CA 94596
Ph: 925.932.2383

REGISTERED LANDSCAPE ARCHITECT
RICHARD STOVER
3017
Signature
Date
Expiration Date
STATE OF CALIFORNIA

INDUSTRIAL SITE
1660 RUMBRILL BLVD.
SAN PABLO, CALIFORNIA

PRELIMINARY LANDSCAPE PLAN

DESIGNED: RS	DRAWN: RS
CHECKED:	JOB NO:
DATE 06-11-25	
SCALE	

SHEET
L1
OF SHEETS

WATER EFFICIENT LANDSCAPE WORKSHEET - BY HYDROZONE

REFERENCE EVAPOTRANSPIRATION (ETo): 41.6

HYDROZONE #	HYDROZONE / (PLANT WATER USE)	PLANT TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (sq. ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)	% OF TOTAL LANDSCAPE AREA
REGULAR LANDSCAPE AREA:										
1	LOW WATER USE	SHRUBS	0.3	DRIP	0.81	0.37037037	14,363	5319.62963	137203.9	72%
1	LOW WATER USE	SHRUBS	0.3	SPRAY	0.75	0.4	4,408	1763.2	0.0	22%
2	MEDIUM WATER USE*	TREES	0.5	BUBBLER	0.81	0.61728395	1278	788.8888889	20347.0	6%
						TOTALS:	20049	7872		100%

SPECIAL LANDSCAPE AREAS:

REC. AREA				1		0	0
POOL				1		0	0
WATER FEATURE 2				1		0	0
				TOTALS:	0	0	
						ETWU TOTAL:	157,551
						MAXIMUM ALLOWED WATER ALLOWANCE (MAWA):	232,697

ETAF CALCULATIONS:

REGULAR LANDSCAPE AREAS:

TOTAL ETAF x AREA	7,872
TOTAL LANDSCAPE AREA	20,049
AVERAGE ETAF	0.39

NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.

ALL LANDSCAPE AREAS:

TOTAL ETAF x AREA	7,872
TOTAL LANDSCAPE AREA	20,049
SITEWIDE ETAF	0.39

PLANT MATERIALS LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	WATER USE WUCOLS	SIZE	MATURE SIZE	COUNT
TREES:						
	CELTIS OCCIDENTALIS	COMMON HACKBERRY	LOW	15 GAL	30'Hx30'W	8
	CERCIS OCCIDENTALIS (STANDARD)	WESTERN REDBUD	VERY LOW	24" BOX	15'Hx12'W	4
	LAGERSTROEMIA F. 'TUSCARORA' (STD)	STANDARD CRAPE MYRTLE	LOW	15 GAL	25'Hx25'W	6
	LAURUS NOBILIS 'SARATOGA' (STD)	SARATOGA LAUREL	LOW	24" BOX	25'Hx25'W	3
	PRUNUS CERASIFERA 'KRAUTER VESUVIUS'	PURPLE-LEAF PLUM	MED	15 GAL	20'Hx18'W	2
	ULMUS PARVIFOLIA 'EMERALD VASE'	CHINESE ELM	MED	15 GAL	35'Hx35'W	4
SHRUBS:						
	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	LOW	5 GAL	3'Hx4'W	38
	CARPENTERIA CALIFORNICA	BUSH ANEMONE	LOW	5 GAL	4'Hx5'W	23
	ELEAEGNUS PUNGENS	SILVERBERRY	LOW	5 GAL	6'Hx8'W	46
	NANDINA 'COMPACTA'	COMPACT NANDINA	LOW	5 GAL	4'Hx3'W	9
	NERIUM OLEANDER 'PETITE SALMON'	DWARF OLEANDER	LOW	5 GAL	4'Hx5'W	56
	RHAPHIOLEPIS 'MAJESTIC BEAUTY' (STD)	MAJESTIC BEAUTY STANDARD	LOW	15 GAL	9'Hx5'W	11
	ROSA CALIFORNICA	WILD ROSE	LOW	5 GAL	3'Hx5'W	30
	SALVIA 'HOT LIPS'	HOT LIPS SAGE	LOW	5 GAL	4'Hx4'W	14
	WESTRINGIA FRUTICOSA	COAST ROSEMARY	LOW	5 GAL	4'Hx5'W	28
PERENNIALS & GRASSES:						
	*ACHILLEA MILLIFOLIUM	COMMON YARROW	LOW	1 GAL	30"Hx3'W	38
	DIETES BICOLOR	FORTNIGHT LILY	LOW	1 GAL	3'Hx3'W	12
	*JUNCUS PATENS	GRAY RUSH	LOW	1 GAL	3'Hx3'W	54
	*MUHLENBERGIA RIGENS	DEER GRASS	LOW	5 GAL	3'Hx4'W	58
GROUND COVERS:						
	BACCHARIS PILULARIS 'TWIN PEAKS'	DWARF COYOTE BUSH	LOW	1 GA@4' O.C.	2'Hx5'W	2,856 SF
	MYOPORUM PARVIFOLIUM	MYOPORUM	LOW	1 GA@4' O.C.	8"Hx6'W	5,497 SF

NOTE: ASTERISK (*) SYMBOL IN PLANT LIST DESIGNATES PLANT SPECIES AS SELECTED FROM THE 'CONTRA COSTA COUNTY CLEAN WATER PROGRAM BIORETENTION FACILITY PLANT MATRIX'.

PLANT COUNT NOTE:
PLANT COUNTS SHOWN ARE FOR BIDDING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANT COUNTS PRIOR TO PLACING PLANT STOCK ORDERS.

GENERAL NOTES:

1. ALL PLANTING AREAS, EXCEPT STORMWATER PLANTERS, SHALL RECEIVE A 3" MINIMUM DEEP LAYER OF FIR BARK DRESSING.
2. ALL STORMWATER PLANTER BASINS SHALL RECEIVE A 2" LAYER DEEP LAYER OF 3 /8" DIAMETER PEBBLES.
3. ALL PLANTING SHALL BE WATERED BY FULLY AUTOMATIC, WATER-CONSERVING IRRIGATION SYSTEM WITH WEATHER-BASED CONTROLLER OPERATION.

REVISIONS

RW Storer & Associates, Inc.
Landscape Architecture
1420 North Main Street, Suite 4
Walnut Creek, CA 94596
Ph: 925.932.2383

RICHARD WAYNE STORER LANDSCAPE ARCHITECT 3017 CALIFORNIA
Signature
Date 20-25
Expiration Date 12-31-26

INDUSTRIAL SITE
1660 RUMBRILL BLVD.
SAN PABLO, CALIFORNIA

PLANT MATERIALS LIST

DESIGNED: RS	DRAWN: RS
CHECKED:	JOB NO:
DATE 06-11-25	
SCALE	

SHEET L2 OF SHEETS

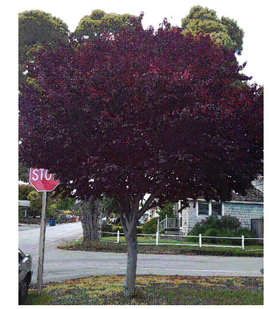
TREES

PRIMARY DECIDUOUS CANOPY TREE
Celtis occidentalis
(Common Hackberry)

SECONDARY ACCENT TREE
Cercis occidentalis
(Western Redbud)

PRIMARY ACCENT TREE
Lagerstroemia indica 'Tuscarora'
(Crape Myrtle)

SECONDARY BROADLEAF EVERGREEN TREE
Laurus nobilis 'Saratoga' (Standard)
(Saratoga Laurel)

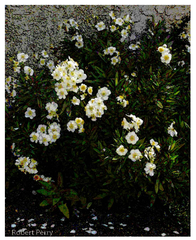


MINOR ACCENT TREE
Prunus cerasifera 'Krauter Vesuvius'
(Purple-Leaf Plum)

PRIMARY BROADLEAF EVERGREEN TREE
Ulmus parvifolia 'Emerald Vase'
(Chinese Evergreen Elm)

SHRUBS

Callistemon 'Little John'
(Dwarf Bottlebrush)

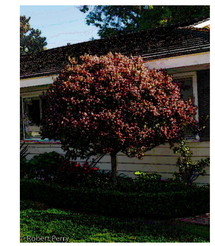


Carpenteria californica
(Bush Anemone)

Elaeagnus pungens
(Silverberry)

Nandina domestica 'Compacta'
(Compact Nandina)

Nerium Oleander 'Petite Salmon'
(Dwarf Oleander)



Rhaphiolepis 'Majestic Beauty'
(Indian Hawthorn Standard)

Rosa californica
(Wild Rose)

PERENNIALS & GRASSES

Salvia 'Hot Lips'
(Hot Lips Sage)

Westringia fruticosa
(Coast Rosemary)

Achillea millefolium
(Common Yarrow)

Dietes bicolor
(Fortnight Lily)

Juncus patens
(Gray Rush)

Muhlenbergia rigens
(Deer Grass)

GROUND COVERS

Baccharis pilularis 'Twin Peaks'
(Dwarf Coyote Bush)

Myoporum parvifolium
(Myoporum)

REVISIONS

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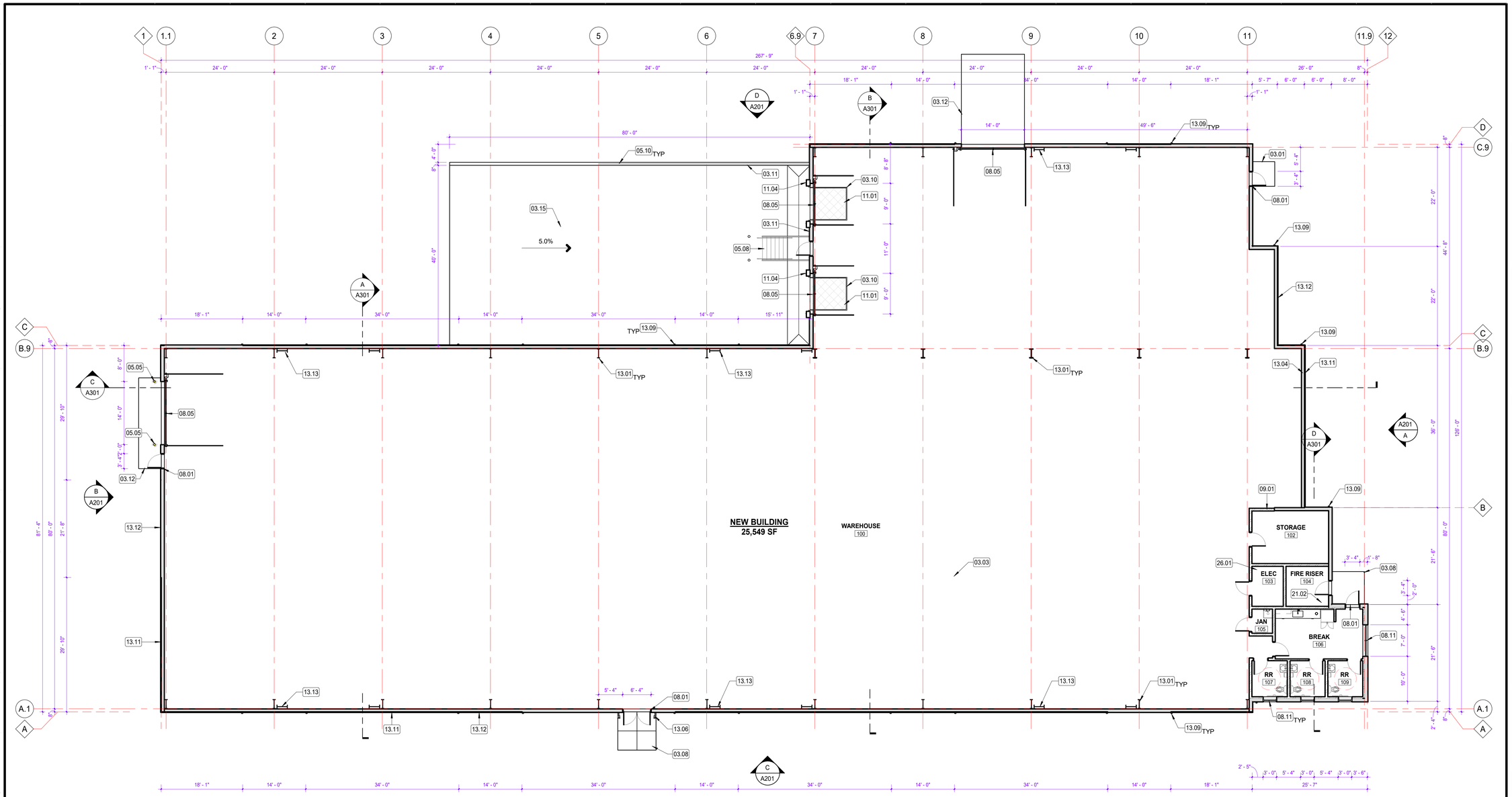
Landscape Architecture
1420 North Main Street, Suite 4
Walnut Creek, CA 94596
Ph: 925.932.2383

INDUSTRIAL SITE
1660 RUMBRILL BLVD.
SAN PABLO, CALIFORNIA

PLANT MATERIAL IMAGES

DESIGNED: RS	DRAWN: RS
CHECKED:	JOB NO:
DATE 06-11-25	
SCALE	

SHEET
L3
OF SHEETS



1 FLOOR PLAN

3/32" = 1'-0"

25,440 SF

FLOOR PLAN NOTES

1. UNLESS NOTED OTHERWISE OR INDICATED, ALL DIMENSIONS SHALL BE TO THE FACE OF STUD OR FINISH FACE OF CONCRETE, MASONRY, OR IMP.
2. CONTRACTOR TO PREP ALL CMU, CONCRETE, AND GYPSUM WALLBOARD SURFACES SCHEDULED TO RECEIVE NEW COATINGS.
3. DOOR OPENINGS NOT DIMENSIONED ARE TO BE LOCATED WITHIN 4" OF ADJACENT PERPENDICULAR PARTITION.
4. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
5. UNLESS NOTED OTHERWISE, GYPSUM WALLBOARD SURFACES SHALL BE TAPED AND SANDED SMOOTH TO A "LEVEL 4" FINISH.
6. FIXTURES AND ELEMENTS IN PROJECT HAVE BEEN DESIGNED TO BE ACCESSIBLE. REFER TO STANDARD ACCESSIBILITY DETAILS.
7. REFER TO INTERIOR ELEVATIONS FOR EXTENTS OF WALL FINISHES AS APPLICABLE.

FLOOR PLAN LEGEND

#.#	KEYED NOTE TAG TYPICAL - INDICATES THAT THERE ARE MORE OF THE SAME ELEMENTS THAT ARE NOT TAGGED
ROOM NAME 888	ROOM TAG WITH NUMBER
##	DOOR TYPE TAG
W#	WINDOW TYPE TAG
A#	WALL TYPE TAG

KEYED NOTES

#	NOTE
03.01	6" THICK CONCRETE WALK/LANDING WITH BROOM FINISH
03.03	CONCRETE FLOOR SLAB OVER COMPACTED GRAVEL, REFER TO STRUCTURAL AND GEOTECHNICAL. FINISH WITH ASHFORD FORMULA FLOOR SEALER AND CAULK ALL FLOOR JOINTS WITH FORKLIFT RATED SEALANT
03.08	CONCRETE STOOP/LANDING TO BE NOT MORE THAN 1/2" LOWER THAN THRESHOLD AT EXTERIOR DOORS
03.10	LOADING DOCK LEVELER PIT, VERIFY SIZE
03.11	CONCRETE LOADING DOCK WALL AND FOOTING
03.12	AT OVERHEAD DOOR OPENINGS, SLOPE CONCRETE SLAB FROM INTERIOR FACE OF WALL DOWN 1/2" TO EXTERIOR FACE OF WALL PROVIDING POSITIVE DRAINAGE AWAY FROM DOOR
03.15	6" CONCRETE RAMP AND SLAB OVER COMPACTED BASE COURSE, REFER TO STRUCTRAL
05.05	6" x 48" HIGH CONCRETE FILLED PIPE BOLLARD, PRIME AND PAINT SAFETY YELLOW OR RED. REFER TO DETAIL 13/A501
05.08	GALVANIZED STEEL STAIR SYSTEM WITH METAL GRATE TREADS AND SOLID RISERS. 1 1/4" Â˙ GALVANIZED PIPE GUARDRAIL AND HANDRAIL
05.10	GALVANIZED STEEL GUARD RAIL
08.01	HOLLOW METAL DOOR AND FRAME. PRIME AND PAINT, POLYURETHANE INSULATED AT EXTERIOR
08.05	INSULATED OVERHEAD SECTIONAL DOOR. PROVIDE WEATHER SEAL AT ALL EDGES AROUND DOOR
08.11	ALUMINUM STOREFRONT & TINTED GLAZING SYSTEM
09.01	PARTITION WALL, REFER TO WALL TYPES

KEYED NOTES

#	NOTE
11.01	7' x 8' MECHANICAL 40,000 LB DOCK LEVELER AND LAMINATED BUMPERS. PROVIDE WITH PIT KIT AND UNDER LEVELER SEAL SYSTEM. VERIFY EXTERIOR PROJECTION WITH VENDOR PRIOR TO INSTALLATION. REFER TO DETAILS SHEET A210
11.04	DOCK SEAL WITH HEAD PAD
13.01	PEMB STRUCTURAL FRAME, REFER TO VENDOR DRAWINGS
13.04	PEMB WALL PURLIN, REFER TO VENDOR DRAWINGS
13.06	PEMB FRAMING, REFER TO VENDOR DRAWINGS
13.09	PEMB DOWNSPOUT, REFER TO VENDOR DRAWINGS
13.11	PEMB VERTICAL METAL WALL PANEL SHEETING, AEP 24 GA REVERSED RIB HR36, (BLUE) COLOR TO MATCH EXISTING ADJACENT FACILITY
13.12	PEMB HORIZONTAL METAL WALL PANEL SHEETING, AEP 24 GA NU-WAVE, (GREY) COLOR TO MATCH EXISTING ADJACENT FACILITY
13.13	PEMB STRUCTURAL PORTAL FRAME, REFER TO VENDOR DRAWINGS
21.02	FIRE SPRINKLER SYSTEM RISER
26.01	MAIN ELECTRICAL GEAR, REFER TO ELECTRICAL

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PROJECT INFORMATION

COMMERCIAL San Pablo CALIFORNIA Rudy's est 1947 REFRIGERATION

NEW WAREHOUSE

1701 RUMRILL BLVD
SAN PABLO, CA 94806

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PRINT RECORD

NO.	DATE	DESCRIPTION
A	05/21/2025	ISSUED FOR REVIEW
B	07/01/2025	DESIGN REVIEW

DATE	PROJECT NO
07/01/2025	25-009

SHEET TITLE

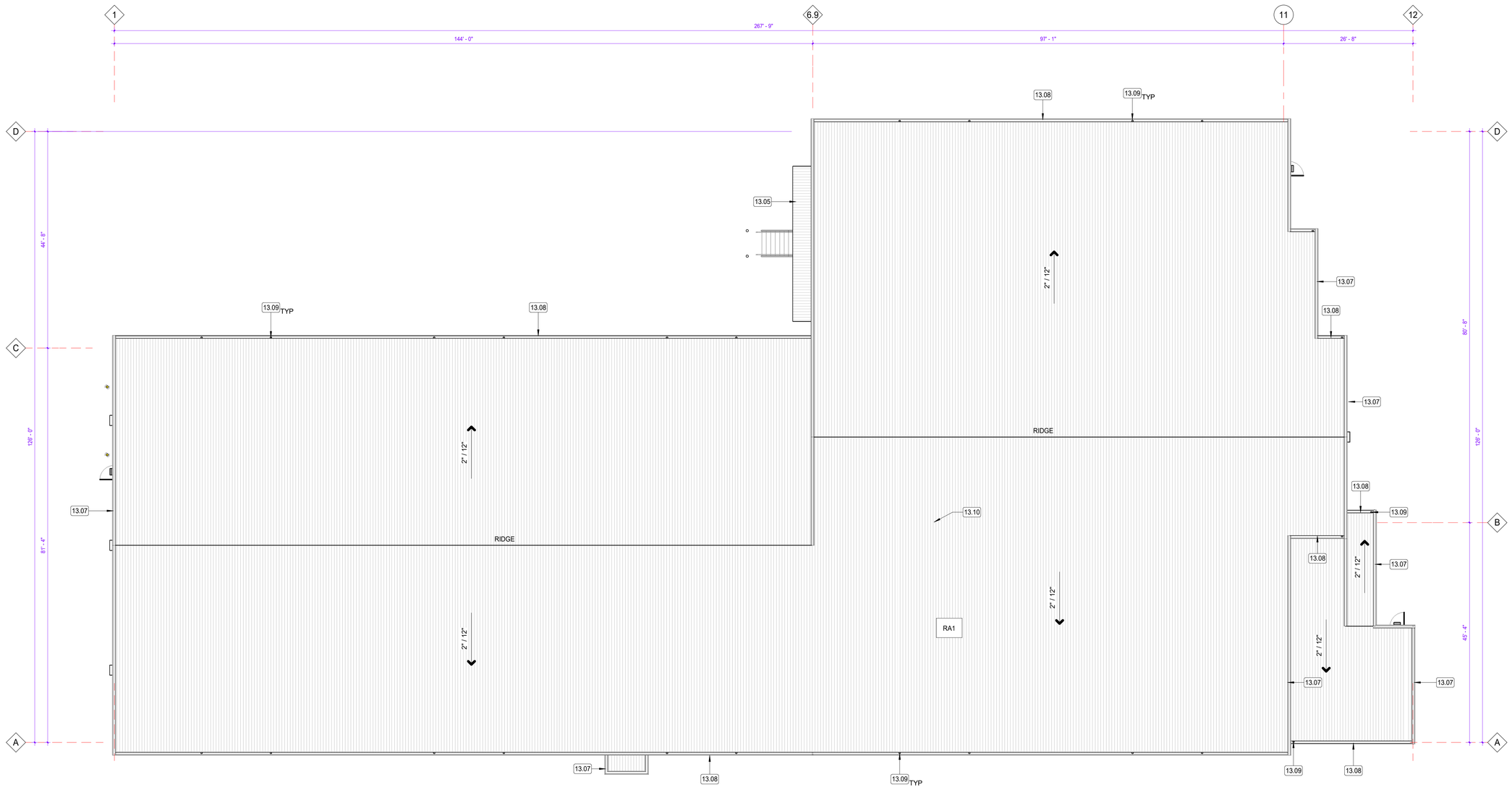
FLOOR PLAN

SHEET NUMBER

A111

DESIGN REVIEW

7/1/2025 5:22:29 PM
Autodesk Docs://Rudy's Refrigeration/25-009_ARCH.rvt



1 ROOF PLAN

3/32" = 1'-0"

NORTH

ROOF PLAN NOTES

1. UNLESS NOTED OTHERWISE OR INDICATED, ALL DIMENSIONS SHALL BE TO THE FACE OF STUD OR FINISH FACE OF CONCRETE, MASONRY, OR IMP.
2. COORDINATE WITH STRUCTURAL, PLUMBING, MECHANICAL, PROCESS AND ELECTRICAL FOR LOCATIONS AND NUMBER OF ROOF PENETRATIONS AS APPLICABLE. COORDINATE ALL ADDITIONAL OPENINGS WITH GENERAL CONTRACTOR.
3. FLASH ALL PENETRATIONS WATER TIGHT PER MANUFACTURER'S RECOMMENDATIONS
4. ALL METAL ROOF FLASHING DETAILS SHALL CONFORM TO SMACNA REQUIREMENTS AND/OR THE MANUFACTURER'S RECOMMENDATIONS.
5. UNLESS NOTED OTHERWISE, MINIMUM SLOPE OF ROOFS AND CRICKETS SHALL BE 1/4" PER FOOT.
6. UNLESS NOTED OTHERWISE, MINIMUM SLOPE OF GUTTERS SHALL BE 1/8" PER FOOT.

ROOF PLAN LEGEND

#.#	KEYED NOTE TAG
	TYPICAL - INDICATES THAT THERE ARE MORE OF THE SAME ELEMENTS THAT ARE NOT TAGGED
1/2" / 12" SLOPE	SPOT SLOPE TAG

ROOF ASSEMBLY

[RA1]
- MATERIAL: STANDING SEAM METAL ROOF PANEL
- COLOR: WHITE
- THICKNESS: ?
- WARRANTY: 15 YEAR MATERIALS
  10 YEAR LEAK-FREE
- INSULATION: R-30 MIN: ?
- FASTENING: MECHANICAL WITH INDUCTION SPOT WELDING

KEYED NOTES

#	NOTE
13.05	PEMB CANOPY SYSTEM, REFER TO VENDOR DRAWINGS
13.07	PEMB FASCIA TRIM, REFER TO VENDOR DRAWINGS
13.08	PEMB EAVE GUTTER, REFER TO VENDOR DRAWINGS
13.09	PEMB DOWNSPOUT, REFER TO VENDOR DRAWINGS
13.10	PEMB METAL ROOF PANEL STANDING SEAM, AEP SPAN-LOK HP 16" 24 GA, COLOR TO MATCH EXISTING ADJACENT FACILITY

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A	05/21/2025	ISSUED FOR REVIEW
B	07/01/2025	DESIGN REVIEW

DATE	PROJECT NO
07/01/2025	25-009

SHEET TITLE

ROOF PLAN

SHEET NUMBER

A131

DESIGN REVIEW

7/1/2025 5:22:30 PM
Autodesk Docs://Rudy's Refrigeration/25-009_ARCH.rvt

VIEW 2 - FUTURE WAREHOUSE

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VIEW 1 - FUTURE WAREHOUSE

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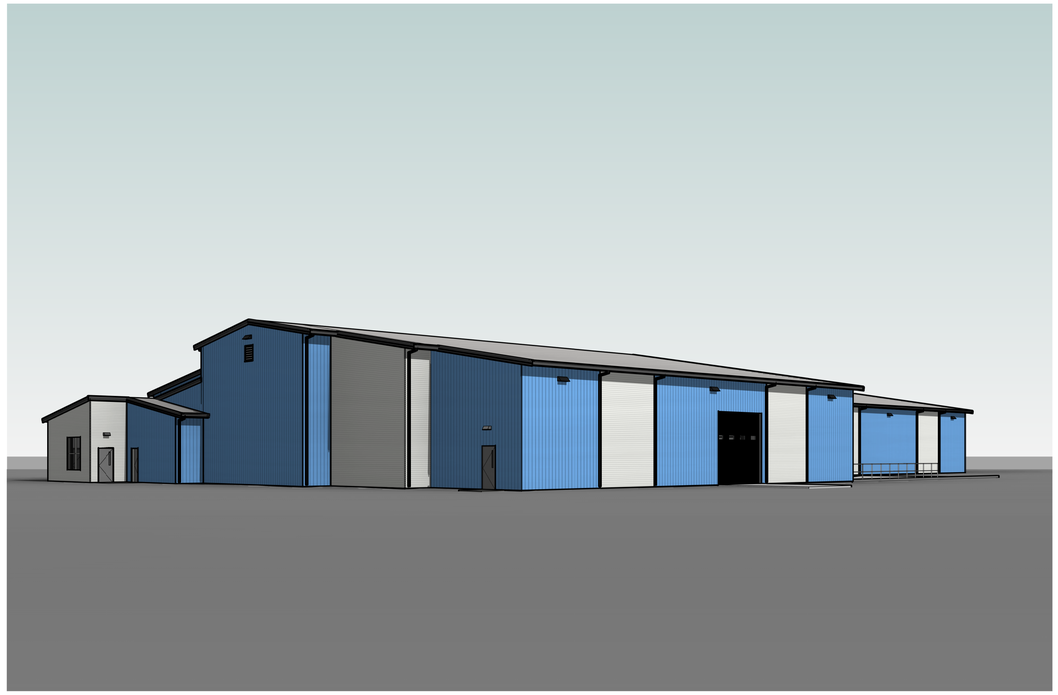
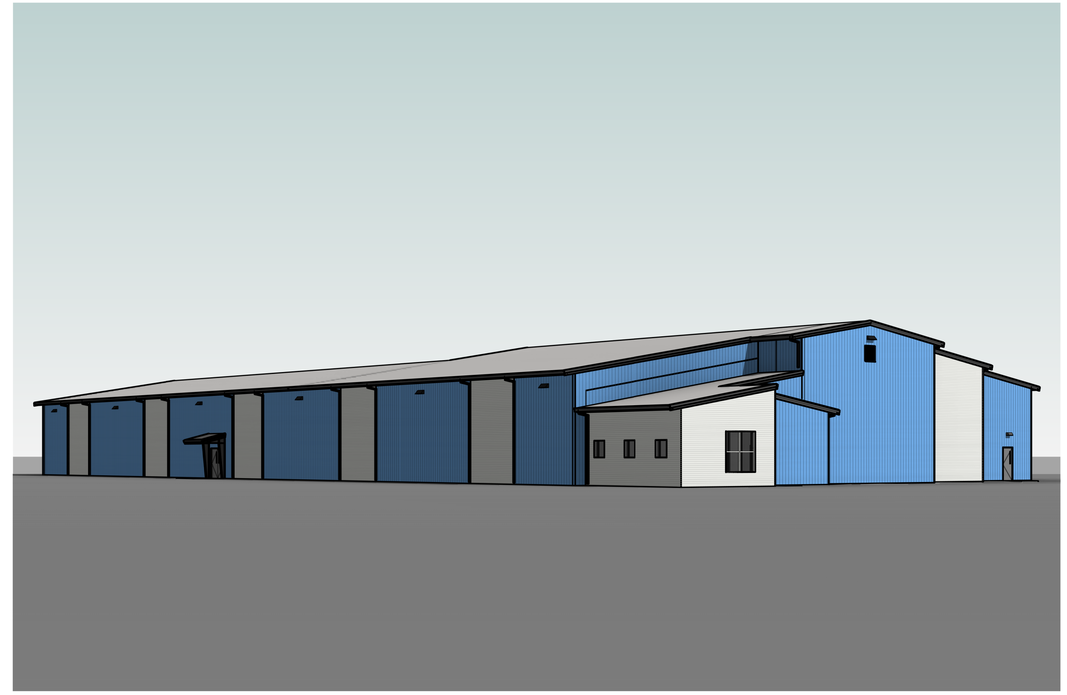
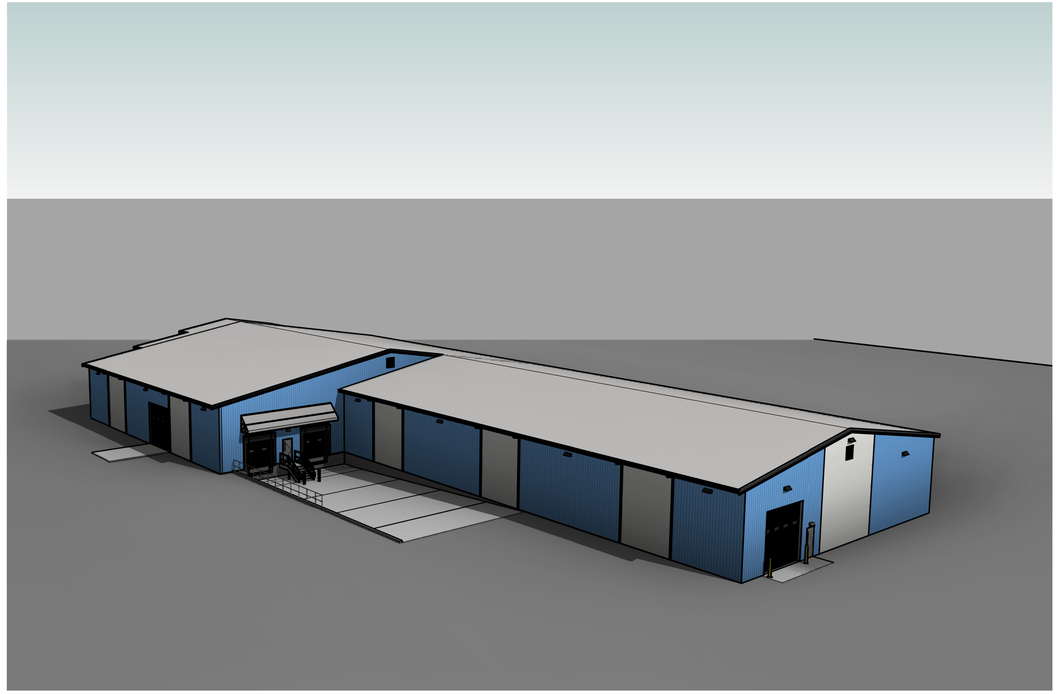


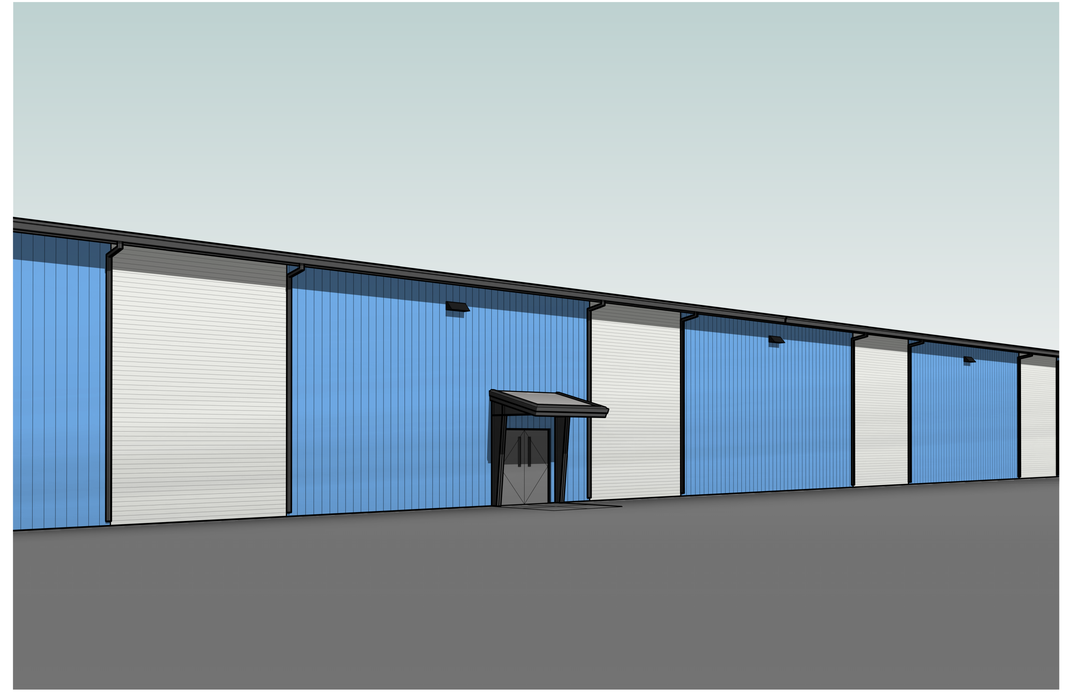
1 VIEW FROM NORTH WEST



2 VIEW FROM NORTH EAST



3 VIEW FROM SOUTH WEST



4 ENTRANCE VIEW FROM SOUTH EAST

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NO.	DATE	DESCRIPTION
A	05/21/2025	ISSUED FOR REVIEW
B	07/01/2025	DESIGN REVIEW

DATE: 07/01/2025

PROJECT NO: 25-009

SHEET TITLE

EXTERIOR BUILDING 3D VIEWS

SHEET NUMBER

A200

DESIGN REVIEW

7/1/2025 5:22:36 PM
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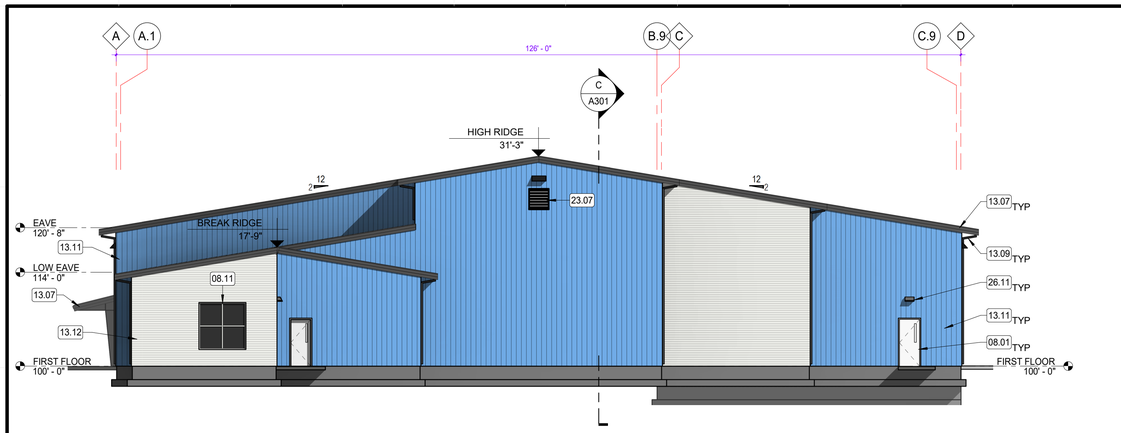
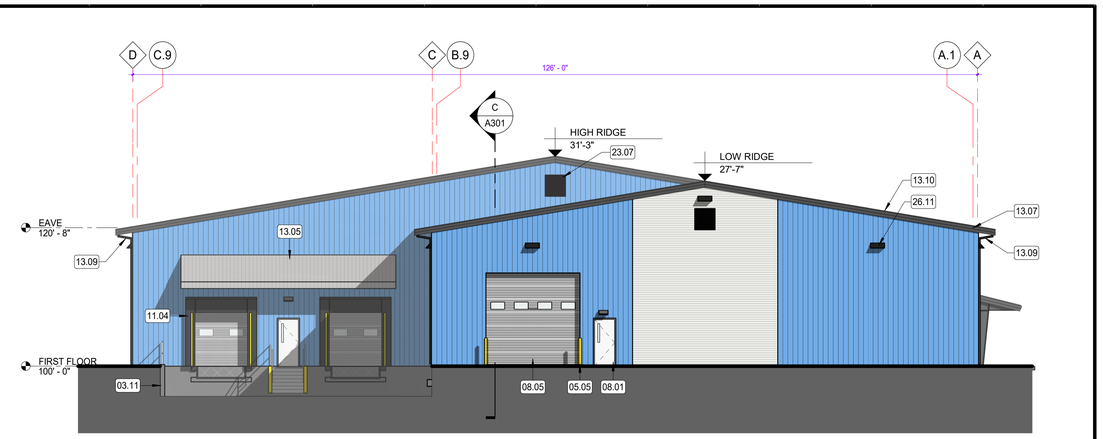


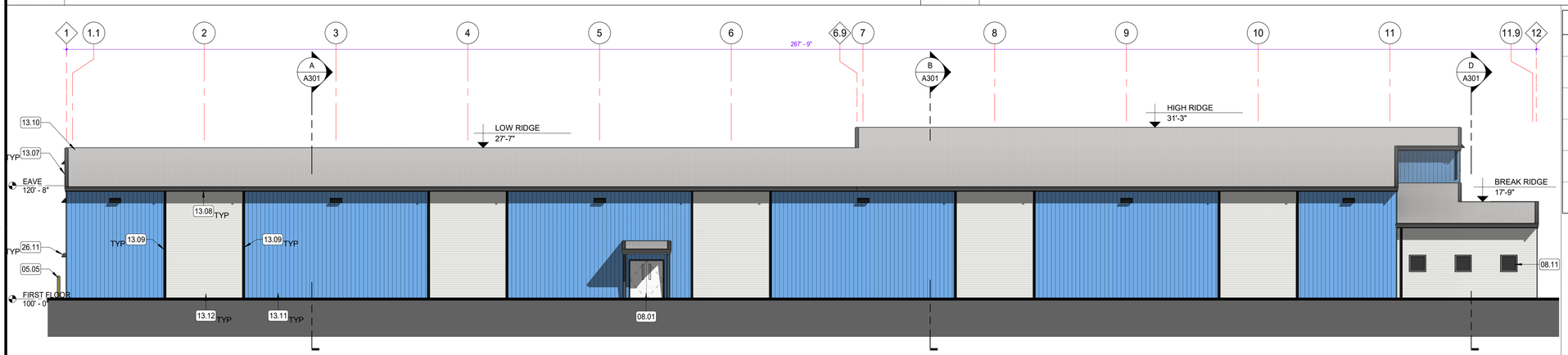
A NORTH ELEVATION

3/32" = 1'-0"



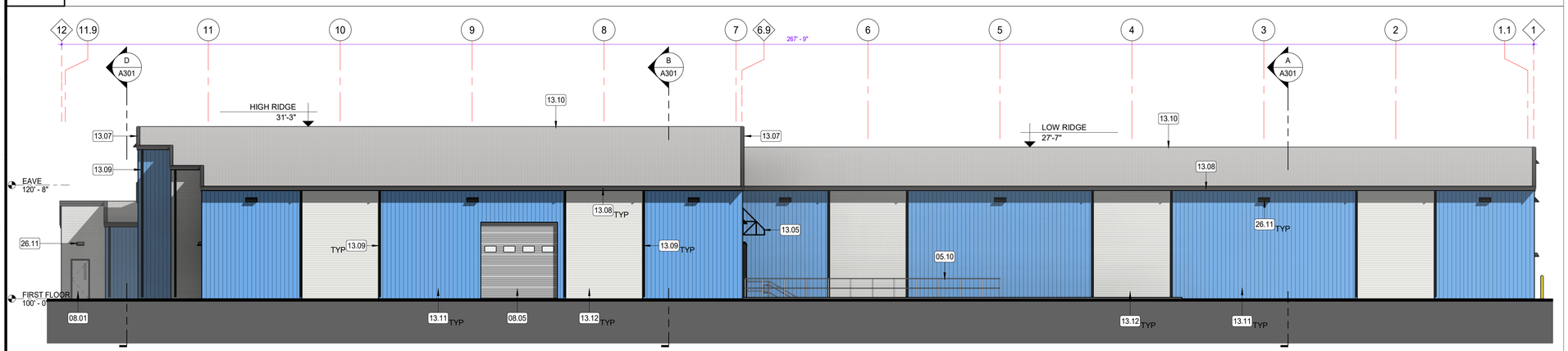
B SOUTH ELEVATION

3/32" = 1'-0"



C EAST ELEVATION

3/32" = 1'-0"



D WEST ELEVATION

3/32" = 1'-0"

EXTERIOR FINISHES LEGEND

COLOR	TAG	MFR	COLOR
	P-1	AEP-SPAN	HORIZONTAL SIDING & TRIM SILVERSMITH MATCH EXISTING
	P-2	AEP-SPAN	VERTICAL SIDING & TRIM TAHOE BLUE MATCH EXISTING
	P-3	AEP-SPAN	FASCIA GUTTERS & DOWNSPOUTS ZINC GRAY
	P-4	AEP-SPAN	ROOFING ZINCALUME PLUS MATCH EXISTING
	P-5	EXTERIOR METALS	DOORS & WINDOWS WHITE

KEYED NOTES

#	NOTE
03.11	CONCRETE LOADING DOCK WALL AND FOOTING
05.05	6" x 48" HIGH CONCRETE FILLED PIPE BOLLARD, PRIME AND PAINT SAFETY YELLOW OR RED. REFER TO DETAIL 13/A501
05.10	GALVANIZED STEEL GUARD RAIL
08.01	HOLLOW METAL DOOR AND FRAME. PRIME AND PAINT, POLYURETHANE INSULATED AT EXTERIOR
08.05	INSULATED OVERHEAD SECTIONAL DOOR. PROVIDE WEATHER SEAL AT ALL EDGES AROUND DOOR
08.11	ALUMINUM STOREFRONT & TINTED GLAZING SYSTEM
11.04	DOCK SEAL WITH HEAD PAD
13.05	PEMB CANOPY SYSTEM, REFER TO VENDOR DRAWINGS
13.07	PEMB FASCIA TRIM, REFER TO VENDOR DRAWINGS
13.08	PEMB EAVE GUTTER, REFER TO VENDOR DRAWINGS
13.09	PEMB DOWNSPOUT, REFER TO VENDOR DRAWINGS
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13.12	PEMB HORIZONTAL METAL WALL PANEL SHEETING, AEP 24 GA NU-WAVE, (GREY) COLOR TO MATCH EXISTING ADJACENT FACILITY
23.07	WALL LOUVER, REFER TO MECHANICAL
26.11	BUILDING MOUNTED LIGHT FIXTURE WITH CUT OFF LENS SHIELD, REFER TO ELECTRICAL

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PRINT RECORD

NO.	DATE	DESCRIPTION
A	05/21/2025	ISSUED FOR REVIEW
B	07/01/2025	DESIGN REVIEW

DATE	PROJECT NO
07/01/2025	25-009

SHEET TITLE

EXTERIOR BUILDING ELEVATIONS

SHEET NUMBER

A201

DESIGN REVIEW

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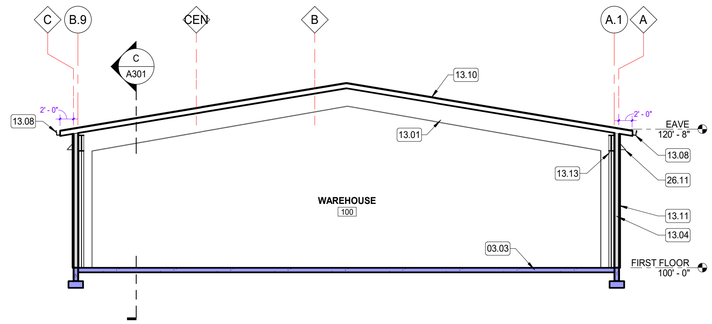
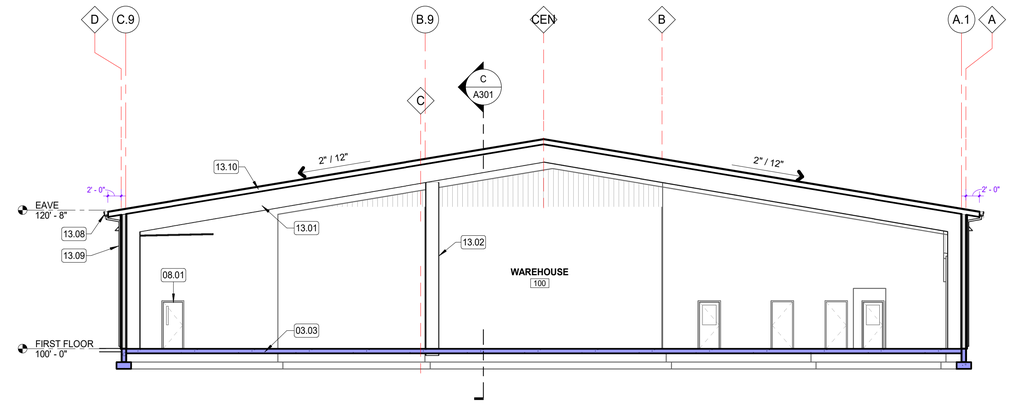


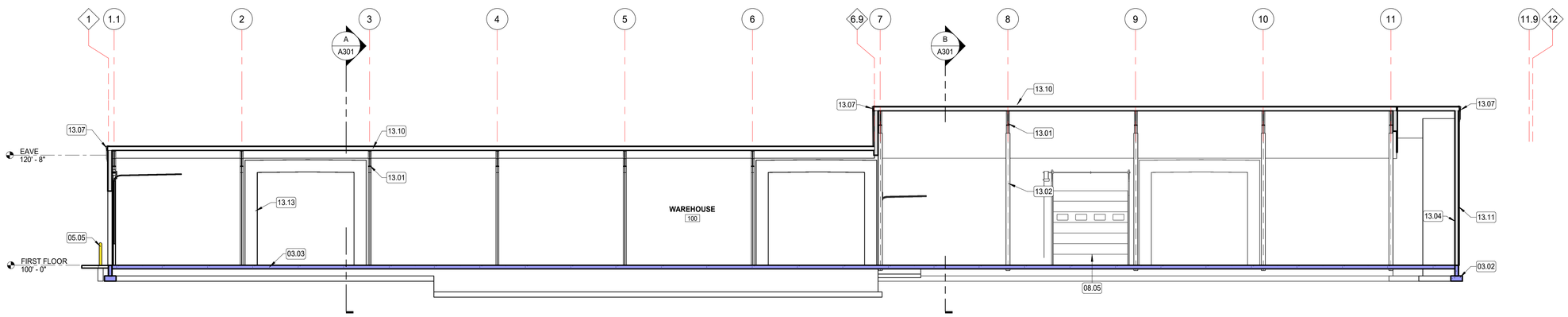
A BUILDING SECTION

3/32" = 1'-0"



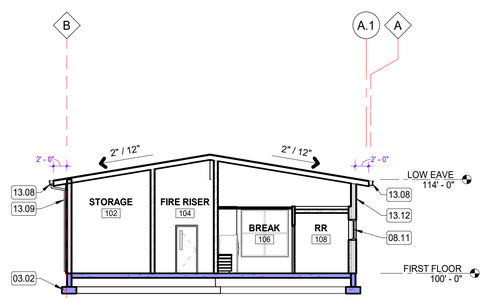
B BUILDING SECTION

3/32" = 1'-0"



C BUILDING SECTION

3/32" = 1'-0"



D BUILDING SECTION

3/32" = 1'-0"

KEYED NOTES

#	NOTE
03.02	CONCRETE FOOTING. REFER TO STRUCTURAL
03.03	CONCRETE FLOOR SLAB OVER COMPACTED GRAVEL, REFER TO STRUCTURAL AND GEOTECHNICAL. FINISH WITH ASHFORD FORMULA FLOOR SEALER AND CAULK ALL FLOOR JOINTS WITH FORKLIFT RATED SEALANT
05.05	6" x 48" HIGH CONCRETE FILLED PIPE BOLLARD, PRIME AND PAINT SAFETY YELLOW OR RED. REFER TO DETAIL 13/A501
08.01	HOLLOW METAL DOOR AND FRAME. PRIME AND PAINT, POLYURETHANE INSULATED AT EXTERIOR
08.05	INSULATED OVERHEAD SECTIONAL DOOR. PROVIDE WEATHER SEAL AT ALL EDGES AROUND DOOR
08.11	ALUMINUM STOREFRONT & TINTED GLAZING SYSTEM
13.01	PEMB STRUCTURAL FRAME, REFER TO VENDOR DRAWINGS
13.02	PEMB COLUMN, REFER TO VENDOR DRAWINGS
13.04	PEMB WALL PURLIN, REFER TO VENDOR DRAWINGS
13.07	PEMB FASCIA TRIM, REFER TO VENDOR DRAWINGS
13.08	PEMB EAVE GUTTER, REFER TO VENDOR DRAWINGS
13.09	PEMB DOWNSPOUT, REFER TO VENDOR DRAWINGS
13.10	PEMB METAL ROOF PANEL STANDING SEAM, AEP SPAN-LOK HP 16" 24 GA, COLOR TO MATCH EXISTING ADJACENT FACILITY
13.11	PEMB VERTICAL METAL WALL PANEL SHEETING, AEP 24 GA REVERSED RIB HR36, (BLUE) COLOR TO MATCH EXISTING ADJACENT FACILITY
13.12	PEMB HORIZONTAL METAL WALL PANEL SHEETING, AEP 24 GA NU-WAVE, (GREY) COLOR TO MATCH EXISTING ADJACENT FACILITY
13.13	PEMB STRUCTURAL PORTAL FRAME, REFER TO VENDOR DRAWINGS
26.11	BUILDING MOUNTED LIGHT FIXTURE WITH CUT OFF LENS SHIELD, REFER TO ELECTRICAL

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PRINT RECORD

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A	05/21/2025	ISSUED FOR REVIEW
B	07/01/2025	DESIGN REVIEW

DATE	PROJECT NO
07/01/2025	25-009

SHEET TITLE

BUILDING SECTIONS

SHEET NUMBER

A301

DESIGN REVIEW

7/1/2025 5:22:43 PM
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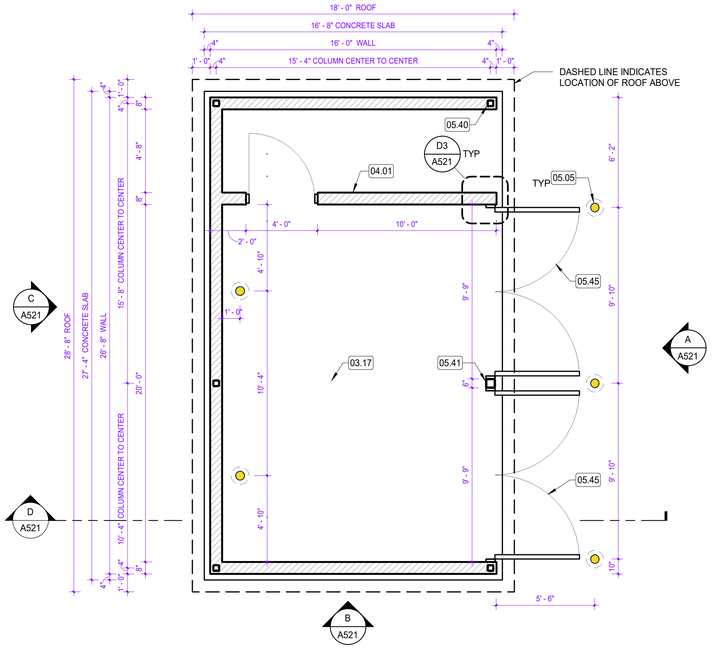
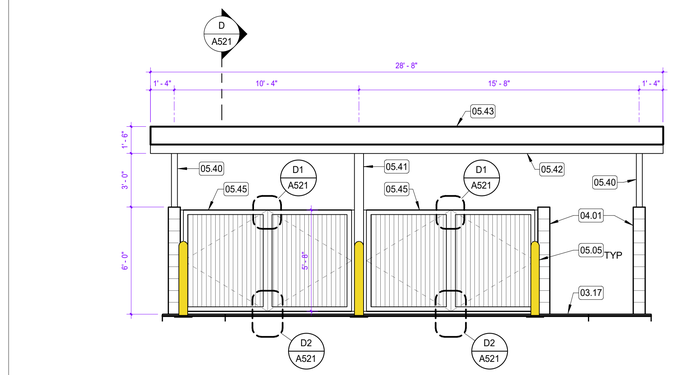


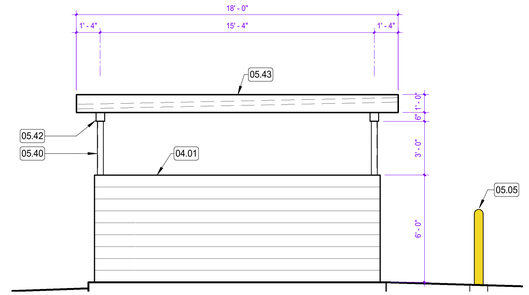
1 TRASH ENCLOSURE PLAN

1/4" = 1'-0"



A FRONT ELEVATION

1/4" = 1'-0"



B SIDE ELEVATION

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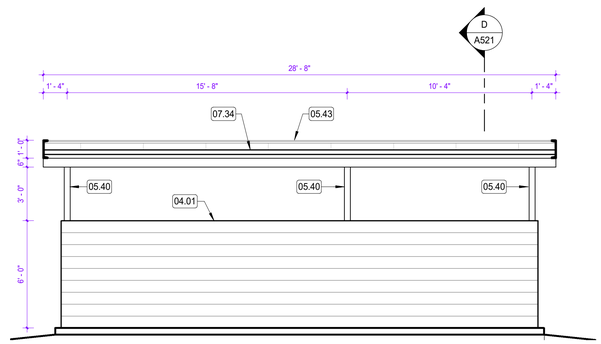

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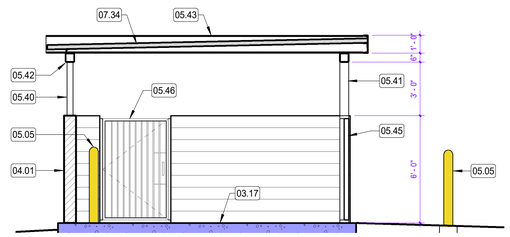
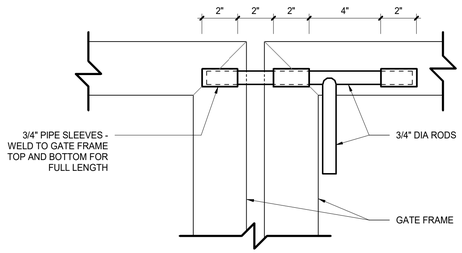
1/4" = 1'-0"



D TRASH ENCLOSURE SECTION

1/4" = 1'-0"



D1 GRAVITY LATCH DETAIL

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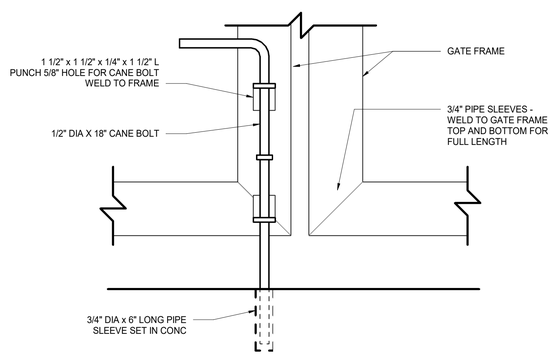
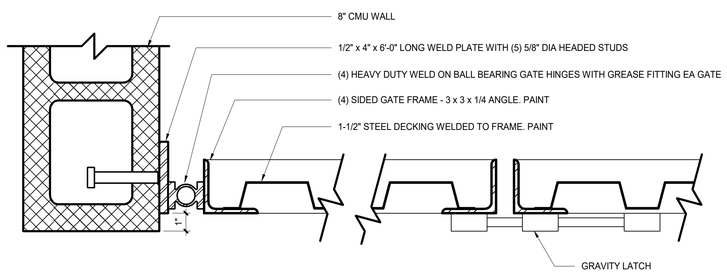


D2 CANE BOLT DETAIL

3" = 1'-0"



D3 GATE JAMB DETAIL

3" = 1'-0"

KEYED NOTES

#	NOTE
03.17	6" CONCRETE SLAB WITH #4 @ 18" O.C. EA. WAY OVER 4" COMPACTED GRAVEL BASE (MIN. 95% COMPACTION)
04.01	8"x8"x16" REINFORCED STANDARD SMOOTH FACE CMU WALL. REFER TO STRUCTURAL. PAINT WITH SHERWIN WILLIAMS PRIMER, TWO FINISH COLOR COATS AND ANTI-GRAFFITI COATING
05.05	6" x 48" HIGH CONCRETE FILLED PIPE BOLLARD, PRIME AND PAINT SAFETY YELLOW OR RED. REFER TO DETAIL 13/A501
05.40	4"x4"x1/4" HSS COLUMN. EXTEND FROM SLAB THROUGH CMU WALL TO BEAM ABOVE. PAINT
05.41	6"x6"x1/4" HSS COLUMN
05.42	6"x6"x1/4" HSS BEAM. WELD TO TOP OF COLUMNS AND CAP ENDS. PAINT
05.43	CANOPY FRAME-C12x20.7 STEEL CHANNEL (3 SIDES) WELDED TO HSS 6x6x1/4 BEAM. MITER CHANNEL CORNERS AND WELD AS NEEDED
05.45	TRASH ENCLOSURE GATES: 3"x3"x1/4" GALVANIZED STEEL ANGLE FRAME WITH 1-1/2"x18ga. GALVANIZED DECK SIDING. 1"x1/4" GALVANIZED STRAP WELDED TO BACK OF DECKING OF EACH DOOR FOR SAG SUPPORT
05.46	WROUGHT IRON STEEL GATE WITH SECURITY LATCH PROTECTION AND LOCKING HARDWARE, PROVIDE WITH FULL GATE COVERING STEEL MESH ON INTERIOR SIDE OF ENCLOSURE
07.34	3" INSULATED METAL PANEL ROOFING SLOPE AT 1/4" PER 12". INSTALL PER MANUFACTURER'S RECOMMENDATIONS

sa steele architecture
PO BOX 245 | EAGLE, ID 83616
208.871.7176

SEAL

PRELIMINARY

NOT FOR CONSTRUCTION

CONSULTANT

PROJECT INFORMATION

COMMERCIAL San Pablo CALIFORNIA Rudy's est 1947 REFRIGERATION

NEW WAREHOUSE

1701 RUMRILL BLVD
SAN PABLO, CA 94806

THIS DRAWING WAS PREPARED BY STEELE ARCHITECTURE FOR A SPECIFIC PROJECT, TAKING INTO CONSIDERATION THE SPECIFIC AND UNIQUE REQUIREMENTS OF THE PROJECT. REUSE OF THIS DRAWING OR ANY INFORMATION CONTAINED IN THIS DRAWING FOR ANY PURPOSE IS PROHIBITED UNLESS WRITTEN PERMISSION FROM BOTH SA AND SA'S CLIENT IS GRANTED.

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PRINT RECORD

NO.	DATE	DESCRIPTION
A	07/01/2025	DESIGN REVIEW

DATE	PROJECT NO
07/01/2025	25-009

SHEET TITLE

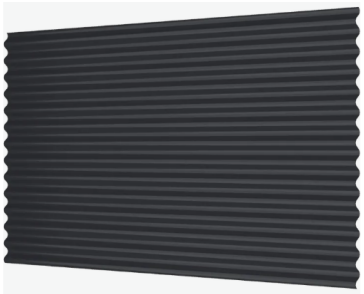
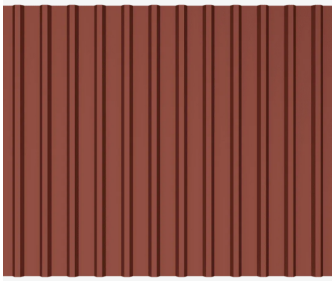
TRASH ENCLOSURE DETAILS

SHEET NUMBER

A521

DESIGN REVIEW

7/1/2025 5:22:44 PM
Autodesk Docs://Rudy's Refrigeration/25-009_ARCH.rvt

MATERIAL	COLOR
 HORIZONTAL SIDING AEP SPAN NU-WAVE CORRUGATED	 *Cool* **SILVERSMITH**[1] SRI: 58 • LRV: 54
 VERTICAL SIDING AEP SPAN REVERSED BOX RIB	 *Cool* **TAHOE BLUE** SRI: 33 • LRV: 14
 ROOFING AEP SPAN SPAN-LOK HP	 **ZINCALUME® PLUS** SRI: 64 • LRV: 67

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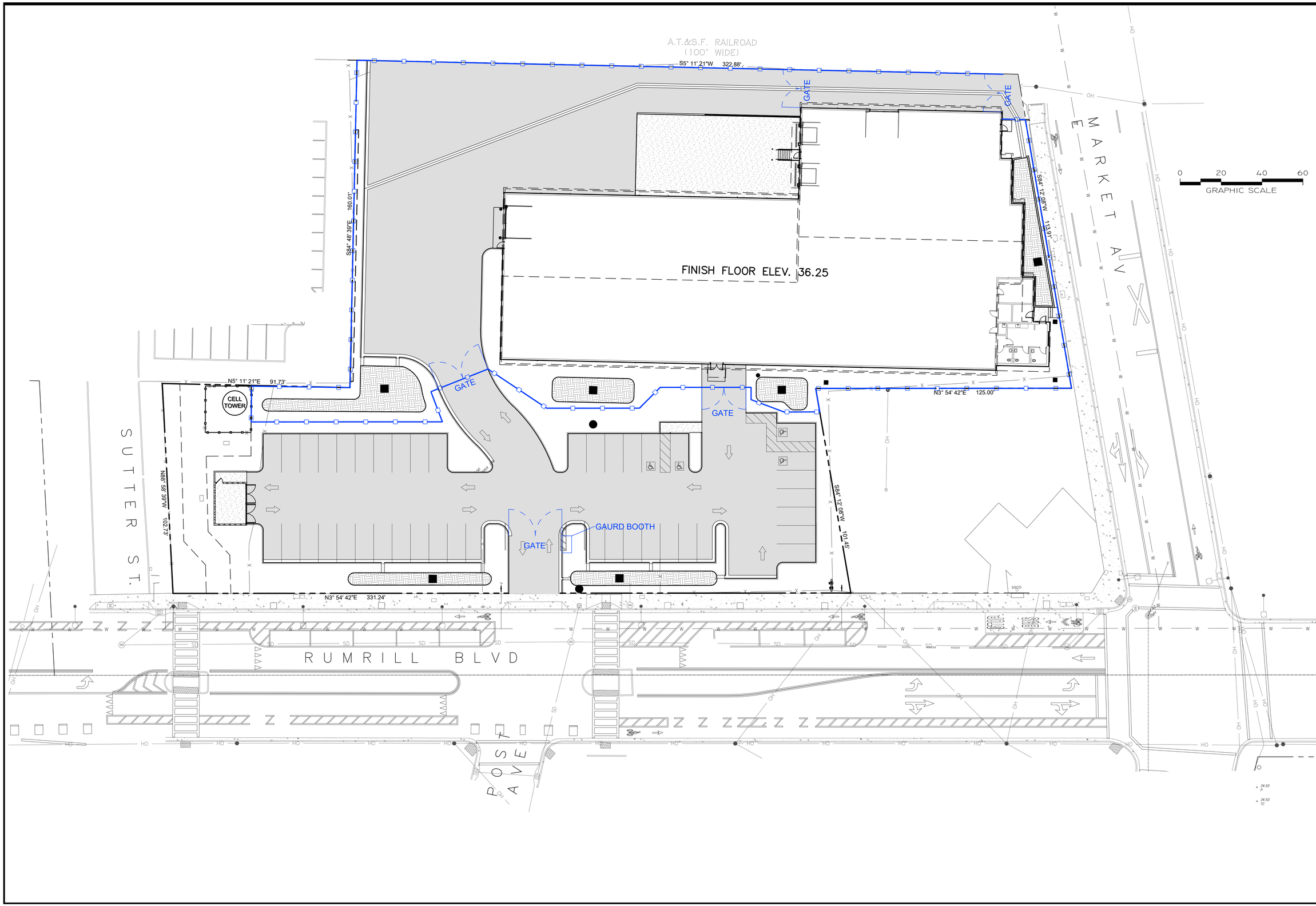
RUDY'S WAREHOUSE
EXTERIOR FINISH MATERIALS

COMMERCIAL San Pablo CALIFORNIA Rudy's est 1947 REFRIGERATION



C&P
LAND PLANNING
A DIVISION OF CUNHA SURVEYING, INC.
701 BELMONT WAY, SUITE A
PINOLE, CA 94564
PHONE: 510-334-8560
CP@CPLANDPLAN.COM

REGISTERED PROFESSIONAL ENGINEER
VINCENT H. CUNHA
36321
CIVIL
STATE OF CALIFORNIA

DATED:

DATE	DESCRIPTION	REVISION	BY

DESIGNED BY: TWP
DRAWN BY: TWP
CHECKED BY: V.H.C.
SCALE: 1" = 20'

PRELIMINARY FENCING EXHIBIT
1660 RUMRILL BLVD

SAN PABLO CALIFORNIA

SHEET NUMBER
F1
OF 1 SHEETS

DRAWING NO.
25025

Business Plan for Rudy's Commercial Refrigeration

Executive Summary

Rudy's Commercial Refrigeration, established in 1947, is a premier provider of high-quality commercial refrigeration parts and custom-built walk-in and reach-in coolers and freezers. With a legacy tracing back several decades, the company has built a strong reputation for serving diverse clients, including California State projects (schools, prisons, hospitals, shelters), Air Force bases, grocery stores, restaurants, florists, breweries, laboratories, and universities across the United States. Currently located at 1660/1621 Rumrill Blvd, San Pablo, CA 94806, Rudy's is expanding with a new 25,000 square foot facility at 1701/1757 Rumrill Blvd, San Pablo, CA 94806. This expansion will support increased production capacity and job creation, employing approximately 20 staff members. Operating Monday through Friday from 6:30 AM to 3:00 PM, Rudy's is poised to strengthen its market position and contribute significantly to the local economy in San Pablo.

Company Description

- Name: Rudy's Commercial Refrigeration
- Owner: Ben Plant
- Contact: (510) 376-9163, ben@rudysrefrigeration.com
- Current Location: 1660/1621 Rumrill Blvd, San Pablo, CA 94806
- New Location: 1701/1757 Rumrill Blvd, San Pablo, CA 94806
- Founding Year: 1947
- Industry: Commercial refrigeration manufacturing and distribution
- Operating Hours: Monday–Friday, 6:30 AM–3:00 PM
- New Employees: Approximately 20

Rudy's specializes in high-quality commercial refrigeration parts and custom-built walk-in and reach-in coolers and freezers, serving a diverse clientele across multiple sectors nation- wide.

Mission Statement

To deliver superior commercial refrigeration solutions that meet the unique needs of our clients while fostering innovation, quality, and economic growth in the San Pablo community.

Market Analysis

Target Market

Rudy's serves a broad customer base, including:

- Government and Institutional Clients: California State projects (schools, prisons, hospitals, shelters), Air Force bases, and universities.
- Commercial Clients: Grocery stores, restaurants, florists, and breweries.
- Specialized Sectors: Laboratories requiring precise refrigeration solutions.

The demand for reliable, custom-built refrigeration systems is growing due to expansions in food service, healthcare, and research industries.

Competitive Analysis

Rudy's differentiates itself through:

- Proven Track Record: Over 75 years of experience and a legacy of quality.
- Customization: Tailored walk-in and reach-in coolers/freezers designed to client specifications.
- Nationwide Reach: Established presence in diverse markets across the United States.

Competitors include large-scale refrigeration manufacturers and local suppliers, but Rudy's niche in custom solutions and its established reputation provide a competitive edge.

Operations Plan

Current Operations

Rudy's operates from its existing facility at 1660/1621 Rumrill Blvd, with a team of skilled professionals manufacturing and distributing refrigeration parts and systems. The facility supports design, assembly, and quality control processes.

Expansion Plan

The new 25,000 square foot facility at 1701/1757 Rumrill Blvd will be a Design-Build, pre-engineered metal building compliant with the California Building Code. This expansion will:

- Increase production capacity to meet growing demand.
- Create approximately 20 new jobs, boosting the local economy.
- Enhance operational efficiency with modern equipment and streamlined processes.

Staffing

The company will maintain a workforce of approximately 20 employees, including skilled technicians, engineers, sales staff, and administrative personnel. Training programs will ensure quality and safety standards are met.

Marketing and Sales Strategy

Rudy's will leverage its established reputation and expand its market presence through:

- Direct Sales: Targeting government contracts, institutional clients, and commercial businesses.
- Digital Marketing: Enhancing online presence via a website and targeted advertising to reach new clients in the food service and laboratory sectors.
- Trade Shows and Networking: Participating in industry events to showcase custom refrigeration solutions.
- Customer Referrals: Leveraging satisfied clients to generate word-of-mouth referrals.

Financial Plan

Revenue Streams

- Sales of commercial refrigeration parts.
- Custom-built walk-in and reach-in coolers and freezers.
- Service and maintenance contracts.

Projected Costs

- Construction Costs: Development of the new facility at 1701/1757 Rumrill Blvd.
- Operational Costs: Employee salaries, equipment, utilities, and maintenance.
- Marketing Costs: Digital advertising, trade show participation, and promotional materials.

Economic Impact

The new Rudy's Commercial Refrigeration Building will contribute to San Pablo's economy by:

- Creating approximately 20 new jobs for local residents.
- Supporting local suppliers and contractors during construction.
- Increasing tax revenue through expanded business operations.

Conclusion

Rudy's Commercial Refrigeration is committed to delivering high-quality refrigeration solutions while driving economic growth in San Pablo. The new facility at 1701/1757 Rumrill Blvd will enhance our capacity to serve clients nationwide while creating jobs and fostering community development. We look forward to collaborating with the City of San Pablo to ensure a successful project.

For further information, please contact Ben Plant at (510) 376-9163 or ben@rudysrefrigeration.com.

Sincerely,

Ben Plant

Property Owner and Applicant

Rudy's Commercial Refrigeration

1660 Rumrill Blvd

San Pablo, CA 94806

LICENSED CONTRACTOR
RUDY'S COMMERCIAL REFRIGERATION
BEN PLANT
LIC. 641418
STATE OF CALIFORNIA

City of San Pablo Planning Division

1000 Gateway Avenue

San Pablo, CA, 94806

I am writing to provide an explanation and overview of the proposed development project for the new Rudy's Commercial Refrigeration Building located at 1701/1757 Rumrill Blvd, San Pablo, CA 94806.

The project entails the construction of a new 25,000 square foot Design-Build Rudy's Commercial Refrigeration Building on an approximately 1.9-acre site. The design will utilize a pre-engineered metal building structure, consistent with the California Building Code, and will be similar in style and construction to our existing facility located at 1621 Rumrill Blvd, San Pablo, CA 94806. This approach ensures compliance with local regulations while maintaining design continuity with our previous successful project in the area.

The proposed Rudy's Commercial Refrigeration Building will significantly contribute to the local economy of San Pablo by generating new job opportunities for residents, fostering economic growth, and supporting the demand for high-quality commercial refrigeration solutions. The project will adhere to all applicable zoning, environmental, and building code requirements as outlined by the City of San Pablo.

Should you require additional details or documentation regarding this project, please feel free to contact me at (510) 376-9163 or via mail at 1660 Rumrill Blvd, San Pablo, CA 94806. We look forward to working with the City of San Pablo Planning Division to ensure a smooth and compliant development process.

Sincerely,

Ben Plant

Property Owner and Applicant

Rudy's Commercial Refrigeration

1660 Rumrill Blvd

San Pablo, CA 94806

LICENSED CONTRACTOR
RUDY'S COMMERCIAL REFRIGERATION
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